



GENERAL NOTES

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REVISION SCHEDULE

DESCRIPTION	DATE	REV

Christchurch City Council  Page 1 of 26
BCN/2016/6637
 Approved Building Consent Plan
 17/10/2016 Setareki H

DRAWING LIST

SHEET #	SHEET NAME	REV
A100	COVER PAGE	
A101	PROPOSED SITE PLAN - GROUND LEVEL	B
A102	PROPOSED SITE PLAN - UPPER LEVEL	
A200	PROPOSED FLOOR PLANS - UNIT 1-4	B
A201	PROPOSED FLOOR PLANS - UNITS 5-9	A
A202	PROPOSED FOUNDATION PLAN - UNITS 5-9	C
A203	PROPOSED FOUNDATION PLAN - UNITS 1-4	C
A204	UPPER FLOOR FRAMING PLAN	B
A205	PROPOSED ROOF FRAMING PLAN	
A206	PROPOSED ROOF PLAN	A
A300	PROPOSED ELEVATIONS	
A301	PROPOSED ELEVATIONS	
A400	PROPOSED SECTIONS	A
A401	PROPOSED SECTIONS	A
A500	PROPOSED REFLECTED CEILING PLANS	A
A600	PROPOSED SERVICES PLANS	
A700	KITCHEN JOINERY	
A701	ENSUITE JOINERY	
A702	LAUNDRY JOINERY	
A800	DOOR & WINDOW SCHEDULE	
A900	DETAILS - FOUNDATIONS + MID-FLOOR	B
A901	DETAILS - ROOF	B
A902	DETAILS - RAINWATER	A
A903	DETAILS - WINDOWS	A
A904	DETAILS - CLADDING	B
A905	DETAILS	B
Grand total: 26		

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HOUSING DEVELOPMENT

63+65 OSBORNE ST
 WALTHAM
 CHRISTCHURCH

COVER PAGE

JOB NUMBER 1603
 SHEET ISSUE DATE 3/10/16
 SCALE AT A1

SITE INFORMATION:

ADDRESS: 63 + 65 OSBOURNE STREET, WALTHAM, CHRISTCHURCH
 LEGAL DESCRIPTION: LOT 1 + LOT 2, DP 12393
 SITE AREA: LOT 1: 619 sqm
 LOT 2: 614 sqm
TOTAL SITE AREA 1242 sqm

CHRISTCHURCH CITY PLAN ZONE: LIVING 3 / RESIDENTIAL MEDIUM DENSITY ZONE
 CERA LAND CLASSIFICATION CATEGORY: TC3

EXPOSURE ZONE: C
 WIND ZONE: LOW
 EARTHQUAKE ZONE: 2
 SNOW ZONE: N4
 SNOW LOAD: 1.0kPa

FLOOR AREAS:
 UNITS 1-4 GROUND FLOOR 39.6 sqm
 UPPER FLOOR 46.5 sqm
 TOTAL 4 x 86.1 sqm = **344.4 sqm**

UNITS 5-9 GROUND FLOOR 36.3 sqm
 UPPER FLOOR 43.3 sqm
 TOTAL 5 x 79.6 sqm = **398.0 sqm**

TOTAL FLOOR AREA = 742.4 sqm

L3 RULES:
 PERMITTED MAXIMUM PLOT RATIO 0.8 742.4/1233 = 0.60 PLOT RATIO ACHIEVED
 MAXIMUM BUILDING HEIGHT 8m
 MINIMUM UNIT SIZE: 2 BEDROOM 70 sqm 79.6 sqm ACHIEVED

MINIMUM OUTDOOR LIVING SPACE 30sqm	UNIT 1	UNIT 2	UNIT 3	UNIT 4	UNIT 5	UNIT 6	UNIT 7	UNIT 8	UNIT 9
	21.8 sqm + COMMUNAL (80.0sqm)	33.4 sqm	33.5 sqm	45.6 sqm	20.0 sqm + COMMUNAL (80.0sqm)	16.7 sqm + COMMUNAL (80.0sqm)	16.7 sqm + COMMUNAL (80.0sqm)	16.7 sqm + COMMUNAL (80.0sqm)	44.2 sqm

LEGEND

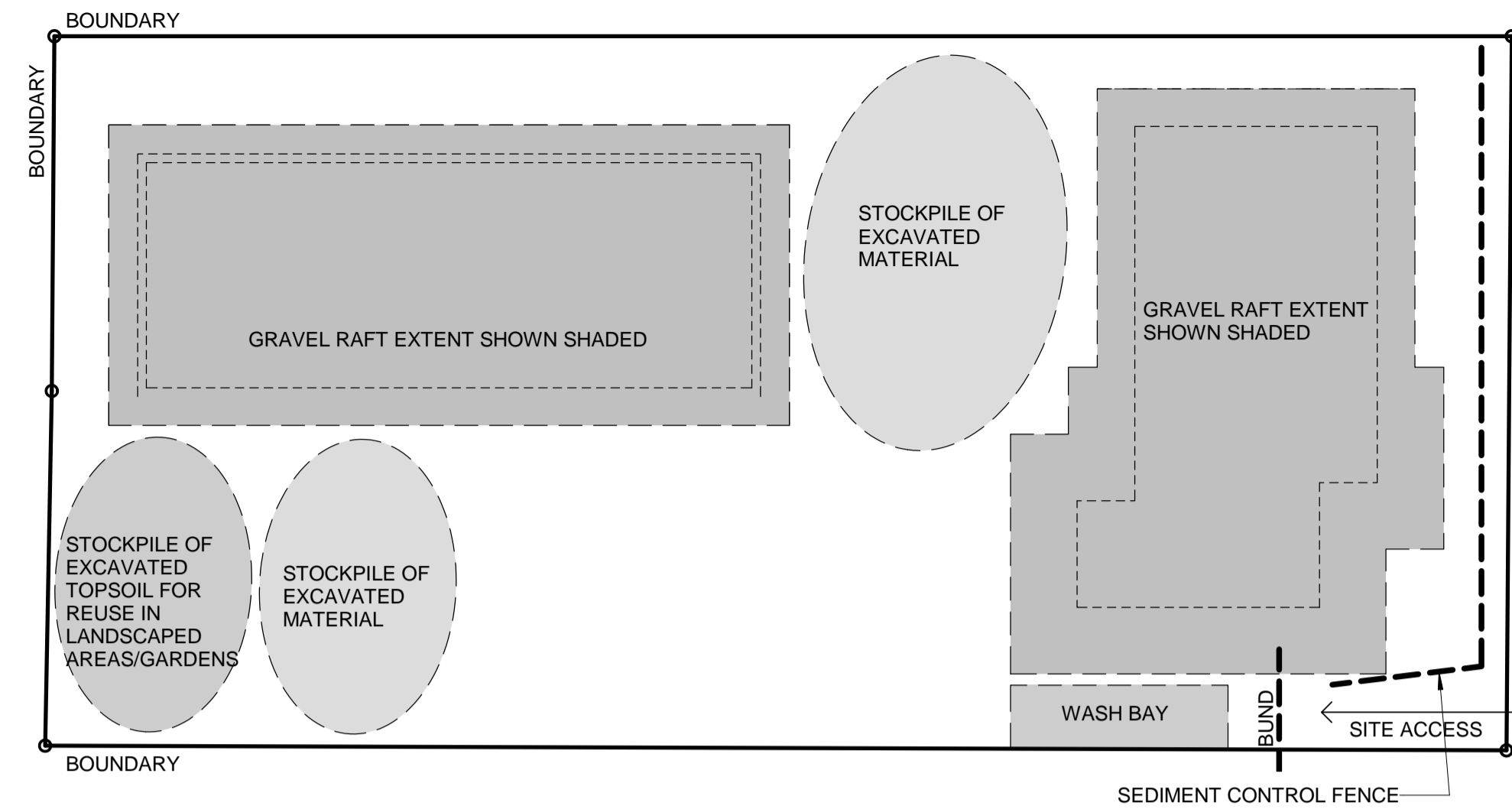
- OL OUTDOOR LIVING SPACE
- SERV OUTDOOR SERVICE SPACE
- CWMA COMMUNAL WASTE MANAGEMENT AREA
- BP BIKE PARK - NUMBER REFERS TO UNIT NUMBER
- TB TOBY BOX AT BOUNDARY WITH METER AND BACKFLOW PREVENTION
- EX EXISTING
- T TELECOMMUNICATIONS PILLAR. ALLOW FOR SEPARATE CONNECTION FOR ALL 9 UNITS
- P POWER CONNECTION AT STREET. WIRE TO EACH UNIT'S INTERNAL INTEGRATED METER BOX/ DISTRIBUTION BOARD

NOMINATED TREES FOR RESOURCE CONSENT

- NOTE: ALL OTHER TREES SHOWN ON DRAWINGS ARE OPTIONAL TBC BY OWNER
- TREE (A) DOGWOOD "WHITE"
 - TREE (B) "JAPANESE MAPLE" OR "LIQUID AMBER" - LANE ROBERTS OR BURGUNDY
 - TREE (C) MAGNOLIA "LITTLE GENIE" OR "BLANCHARD"

NOTE

ALL LEVELS ARE IN TERMS OF THE CHRISTCHURCH DRAINAGE DATUM



3 SEDIMENT CONTROL PLAN
1: 200

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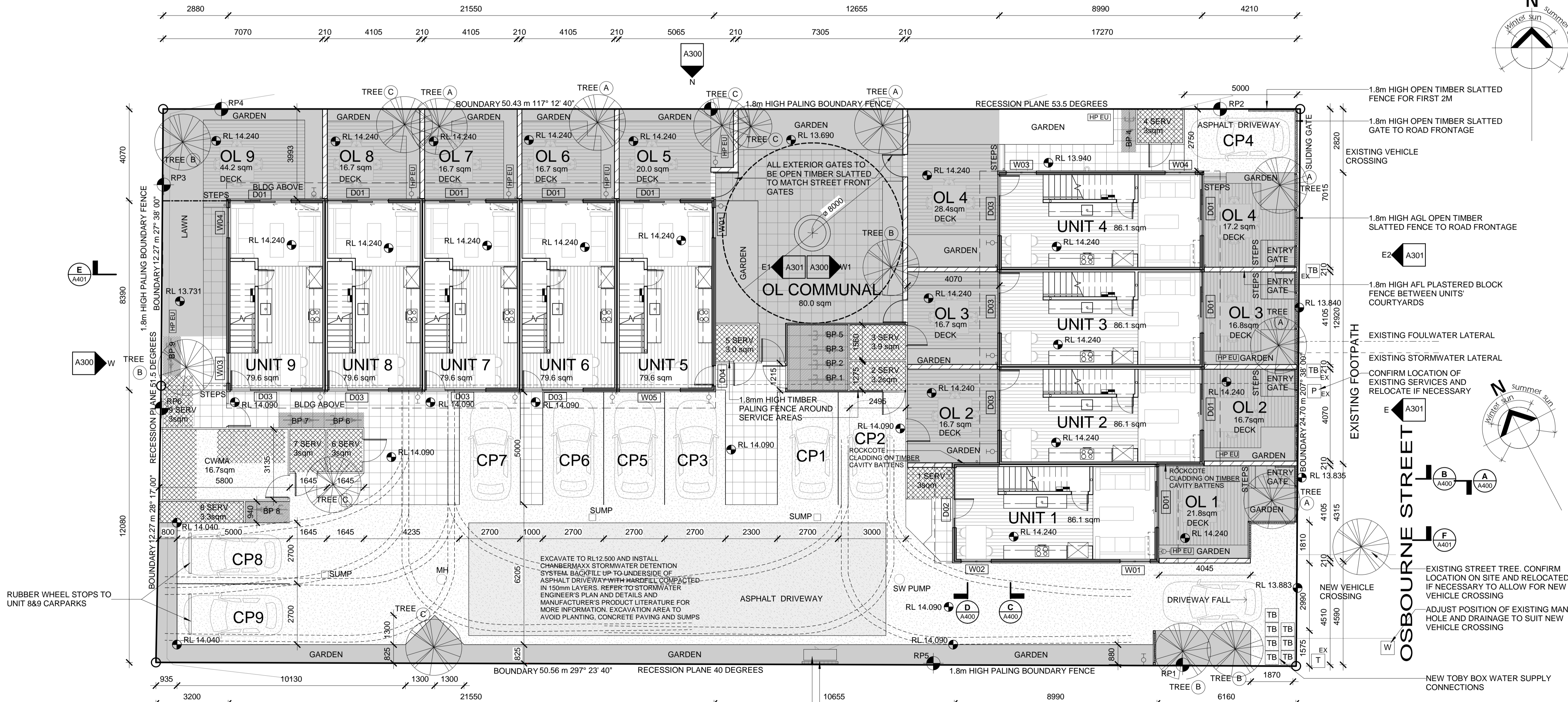
REVISION SCHEDULE

DESCRIPTION	DATE	REV
Sediment control plan added	5/08/16	A
CCC RFI updates, notes added, and SW detention system	3/10/16	B

Christchurch City Council Page 2 of 26
 BCN/2016/6637
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1 LOCATION PLAN
1: 5000



2 PROPOSED SITE PLAN - GROUND LEVEL
1: 100

PHOTO VOLTAIC BATTERIES AND CONTROL GEAR FOR STORMWATER PUMP TO BE LOCATED IN WATERTIGHT STAINLESS STEEL BOX ON CONCRETE PAD
 250W PHOTO VOLTAIC PANEL MOUNTED ONTO PALING FENCE, CONNECTED TO BATTERIES IN STORAGE BOX BELOW. CONFIRM LOCATION AND FIXING WITH ARCHITECT. (SYSTEM SUPPLIED BY FRIZZEL AGRICULTURAL ELECTRONICS)

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PROPOSED SITE PLAN - GROUND LEVEL

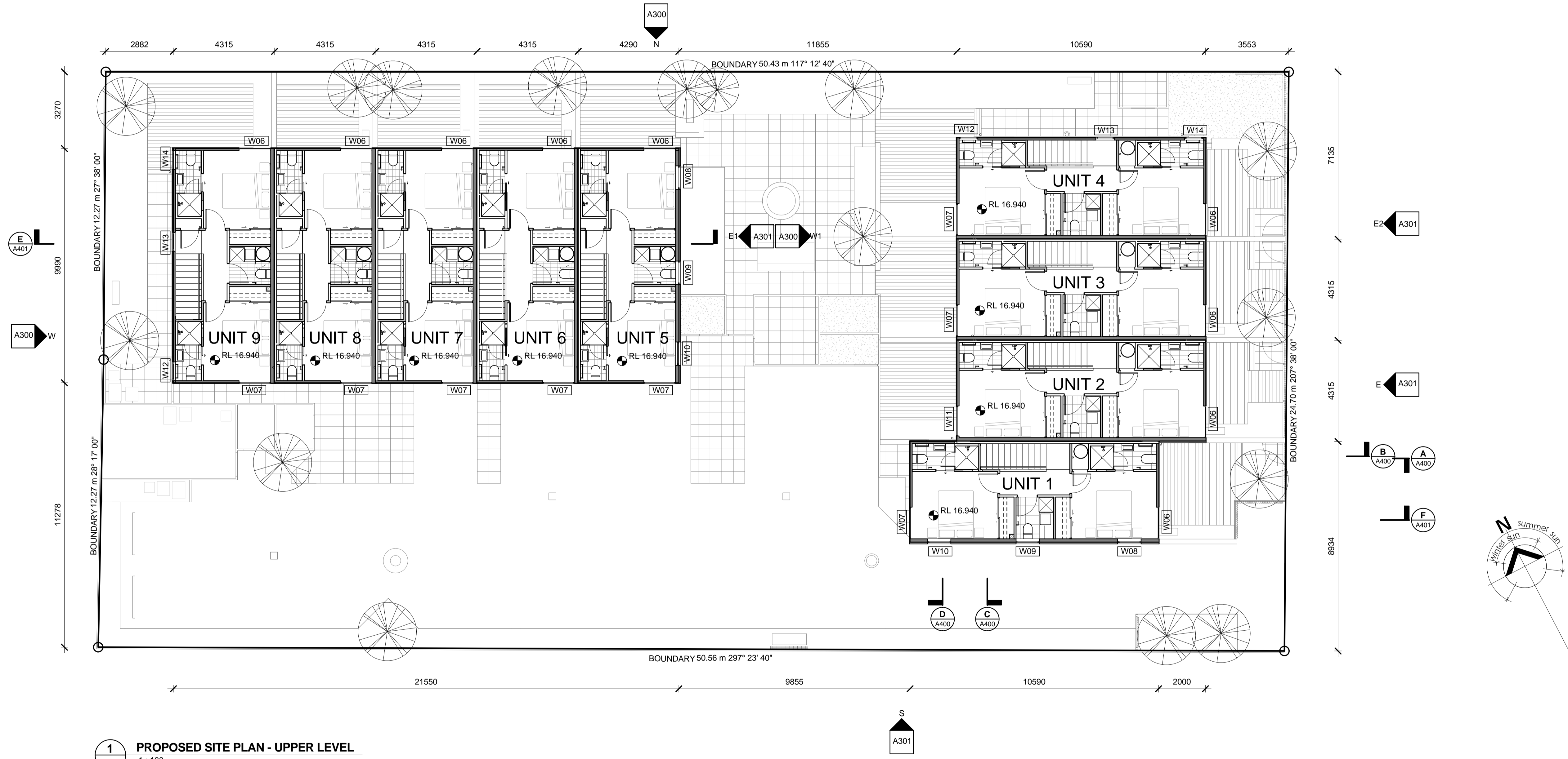
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REVISION SCHEDULE

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1 PROPOSED SITE PLAN - UPPER LEVEL
 1:100

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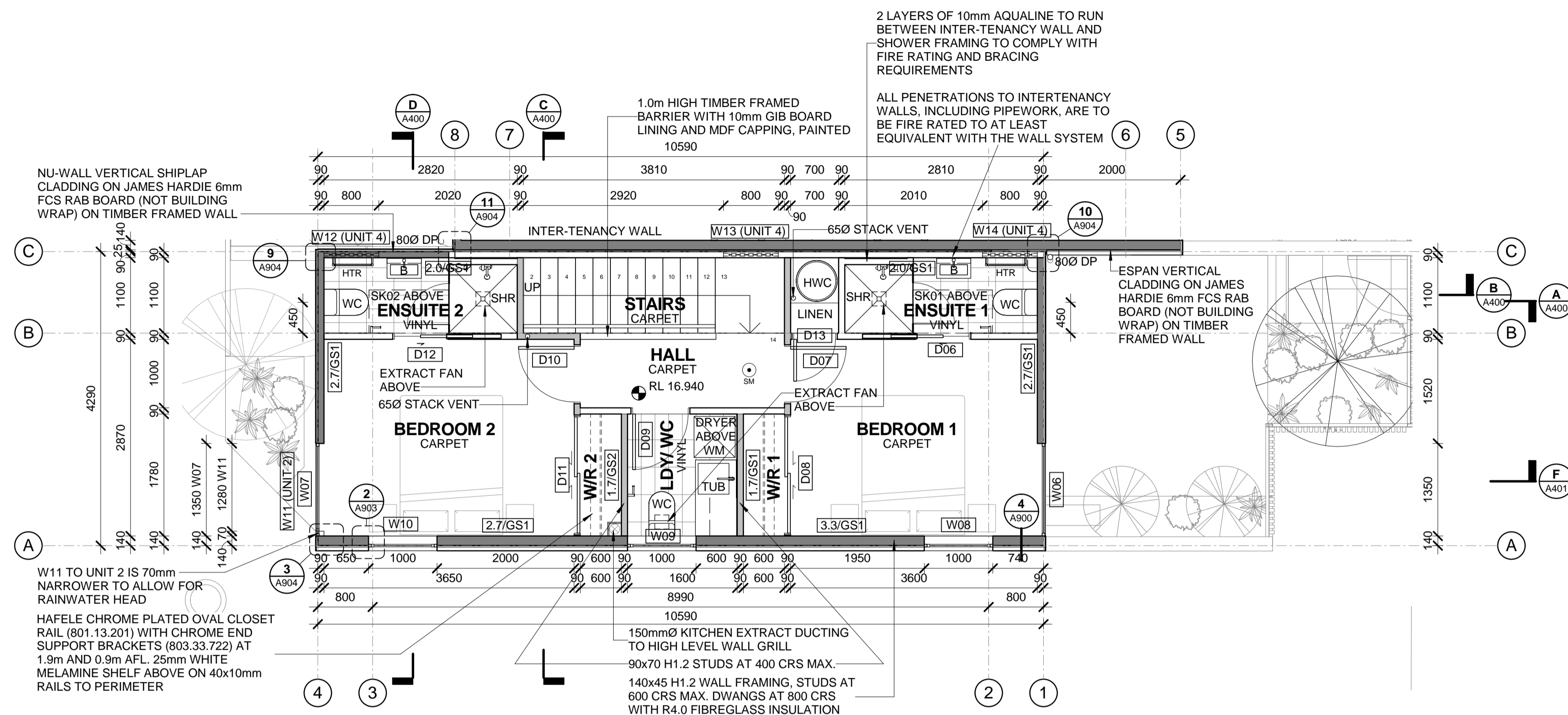
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PROPOSED SITE PLAN - UPPER LEVEL

JOB NUMBER 1603
 SHEET ISSUE DATE 3/10/16
 SCALE AT A1 1:100

BUILDING CONSENT

A102

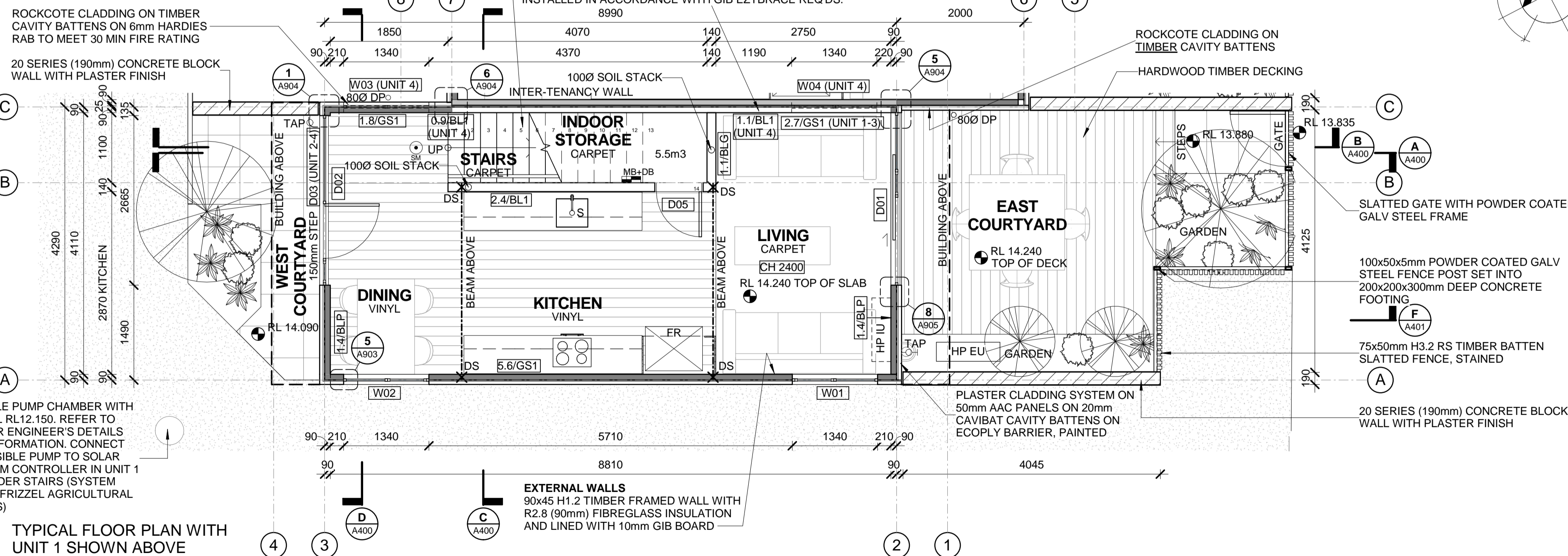


2 UPPER LEVEL PLAN - UNITS 1-4
 1:50

STAIR INFORMATION:
 TOTAL RISE (FLOOR TO FLOOR) = 2700
 NO OF RISERS: 14 @ 193mm/RISER
 TREADS: 255 + 25mm PROJECTION (280mm TOTAL)
NOTE: INSTALL STAIR AFTER THE GIB BOARD GBT (LJA) 60 FIRE WALL HAVE BEEN INSTALLED CONTINUOUSLY ALONG WALL, FULL HEIGHT.

INTERTANCY WALL: GIB BOARD GBT(LJA) 60
 TWO WAY FRR - DOUBLE TIMBER FRAME SYSTEM:
 STC RATING 60, FRR RATING (60)/60/60

2/90x45 H1.2 TIMBER FRAMED WALLS WITH 25mm GAP BETWEEN + GIB "QUIET TIE" CONNECTORS AT BOTTOM PLATE OF UPPER FLOOR AND TOP PLATE AT ROOF.
 INSULATION: R1.8 (75mm) FIBREGLASS INSULATION TO ONE SIDE OF WALL FRAMING
 LININGS: 2 LAYERS OF 10mm GIB FYRELINE FIXED VERTICALLY EACH SIDE OF WALL FRAME/TENANCY. INSTALL IN ACCORDANCE WITH GIB REQUIREMENTS. NOTE BRACING LAYER OF GIB FYRELINE MUST BE INSTALLED IN ACCORDANCE WITH GIB EYZBRACE REQ'DS.



1 GROUND LEVEL PLAN - UNITS 1-4
 1:50

UNIT TYPE VARIATIONS

THE DEVELOPMENT IS SPLIT INTO TWO SETS OF APARTMENTS: UNITS 1-4 AND UNITS 5-9. ALL UNITS HAVE A VERY SIMILAR LAYOUT AND ARE EQUAL IN WIDTH. THE LENGTH OF UNITS 1-4 IS 600mm GREATER THAN UNITS 5-9. THERE ARE SLIGHT VARIATIONS TO THE EXTERIOR WINDOWS AND DOORS OF EACH UNIT, AND THE END UNITS HAVE ADDITIONAL WINDOWS. FOR MORE INFORMATION REFER TO ELEVATIONS AND WINDOW SCHEDULE.

CONSTRUCTION NOTES

WALL TYPES

- 90x45mm H1.2 SG8 PINUS RADIATA EXTERIOR WALL FRAMING WITH R2.8 FIBREGLASS INSULATION TO CAVITY. REFER TO ELEVATIONS FOR CLADDING TYPE AND LOCATION
- 140x45mm H1.2 SG8 PINUS RADIATA EXTERIOR WALL FRAMING WITH R4.0 FIBREGLASS INSULATION TO CAVITY. REFER TO ELEVATIONS FOR CLADDING TYPE AND LOCATION
- 90x45mm H1.2 SG8 PINUS RADIATA INTERNAL FRAMING
- 90x45mm H1.2 SG8 PINUS RADIATA INTERNAL FRAMING WITH ACOUSTIC INSULATION TO CAVITY

TIMBER FRAMING

SG8 PINUS RADIATA FRAMING.
 LOADBEARING AND EXTERIOR WALLS 2.7m MAX HIGH: 90x45mm AT 600mm CRS
 LOADBEARING AND EXTERIOR WALLS 3.6m MAX HIGH: 90x70mm AT 600mm CRS
 INSTALL DWANGS AT 800mm MAX CRS TYPICALLY AND FOR ALL FIXTURES & FITTINGS AND BEHIND ALL 20mm CAVITY BATTENS.
 BOTTOM PLATES FIXED TO NZS3604.

GIB "QUIET TIE" CONNECTORS BETWEEN UNITS 6 NO. MIN. EVENLY SPACED AT MID-FLOOR AND 4 NO. MIN. EVENLY SPACED AT UPPER LEVEL TOP PLATE.

BRACING

- GS1/1.6 = BRACING TYPE / ELEMENT LENGTH
- BL1 = GIB BRACING SYSTEM BL1-H
 - BLG = GIB BRACING SYSTEM BLG-H
 - BLP = GIB BRACING SYSTEM BLP-H
 - GS1 = GIB BRACING SYSTEM GS1-N
 - GS2 = GIB BRACING SYSTEM GS2-N

REFER TO SPECIFICATION FOR FIXING DETAILS AND BOTTOM PLATE FIXING REQUIREMENTS.

SAFETY NETTING

TEMPORARY SAFETY NETTING REQUIRED ACROSS TOP PLATES

INTERIOR WALL LININGS

10mm STANDARD GIB WALL LININGS GENERALLY.
 10mm GIB AQUALINE TO ENSUITE, BATHROOMS, & LAUNDRY.
INTERTANCY WALL: GIB BOARD GBT(LJA) 60
 2 LAYERS OF 10mm GIB FYRELINE INTER-TENANCY WALLS GENERALLY.
 2 LAYERS OF 10mm GIB AQUALINE TO ENSUITE, BATHROOMS, & LAUNDRY INTER-TENANCY WALLS.
 ALL GIB PLASTERBOARD WALL LININGS STOPPED TO LEVEL 4 PAINT FINISH.

ALL PENETRATIONS TO INTERTENANCY WALLS, INCLUDING PIPEWORK, ARE TO BE FIRE RATED TO AT LEAST EQUIVALENT WITH THE WALL SYSTEM.

60x10mm FINGER JOINTED PINE SKIRTING WITH BEVELLED TOP EDGE, PAINTED.

INTERIOR CEILING LININGS

13mm STANDARD GIB LININGS GENERALLY
 13mm GIB AQUALINE TO ENSUITE, BATHROOMS & LAUNDRY.
 GIB PLASTERBOARD CEILING LININGS STOPPED TO LEVEL 4 PAINT FINISH GENERALLY. LEVEL 5 FINISH TO KITCHEN, DINING, LIVING & ENTRY.

INTERIOR WATERPROOFING

REFER TO SPECIFICATION FOR TYPE OF WATERPROOFING.

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REVISION SCHEDULE

DESCRIPTION	DATE	REV
Intertency wall notes	23/08/16	A
CCC RFI updates, notes added, and SW detention system	3/10/16	B

ABBREVIATIONS

- AAV AIR ADMITTANCE VALVE
- B BASIN
- COS CHECK DIMENSION ON SITE
- CRS CENTERS
- D01 DOOR 01
- DB DISTRIBUTION BOARD
- DP DOWN PIPE
- DS DOUBLE STUD
- DU DISCHARGE UNITS
- HTR HEATED TOWEL RAIL
- HWC HOT WATER CYLINDER
- IP INSPECTION POINT (DRAINAGE)
- MB METER BOARD
- O OVEN
- S SINK
- ORG OVERFLOW RELIEF GULLY
- RP RODDING POINT (DRAINAGE)
- SHR SHOWER
- TAP GARDEN TAP
- TR TOWEL RAIL
- TS TRIPLE STUD
- TUB LAUNDRY TUB
- U/S UNDER SIDE
- UNT UNTREATED
- WM WASHING MACHINE
- W01 ALUMINIUM JOINERY 01

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PROPOSED FLOOR PLANS
 - UNIT 1-4

JOB NUMBER 1603
 SHEET ISSUE DATE 3/10/16
 SCALE AT A1 1:50

UNIT TYPE VARIATIONS

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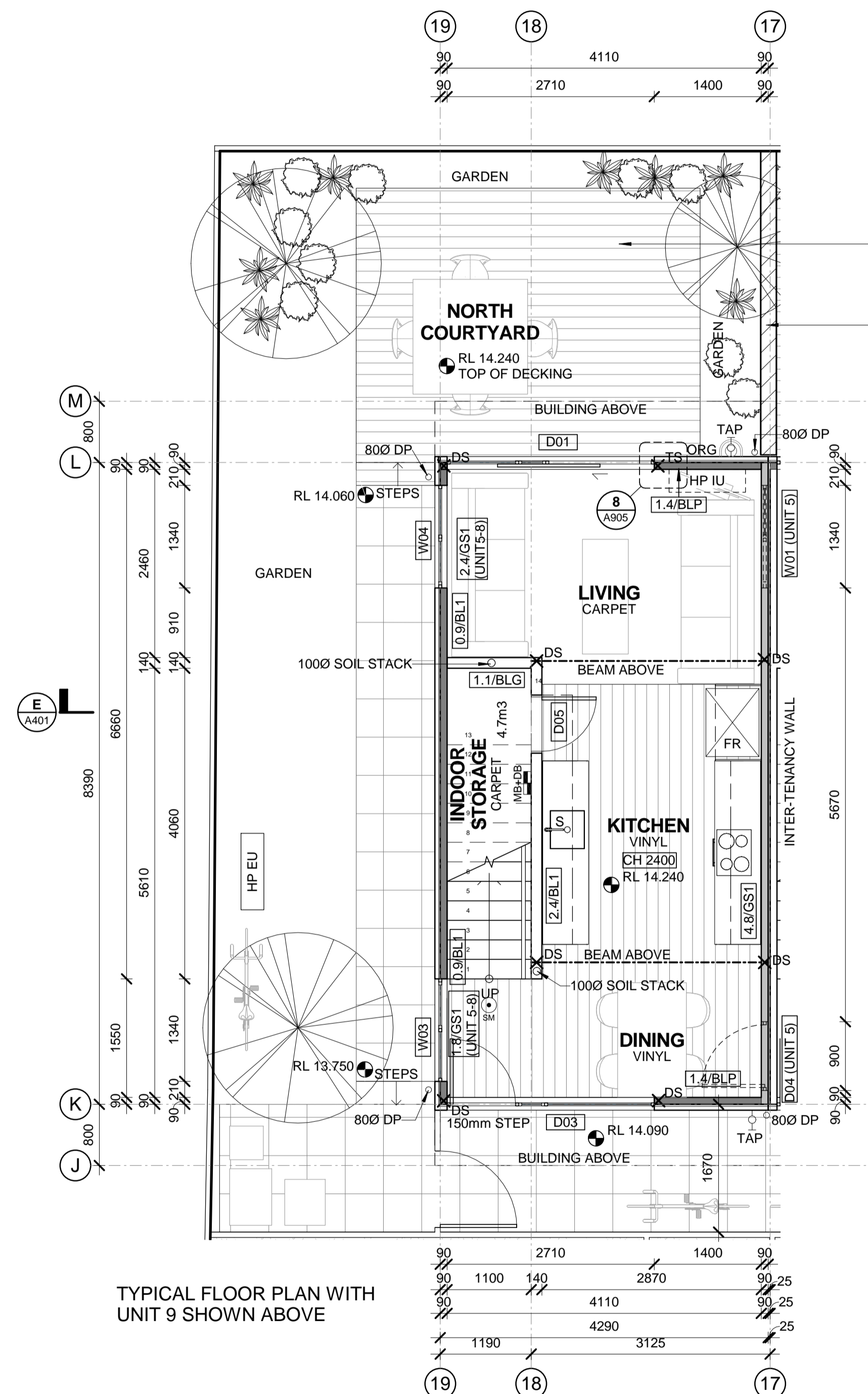
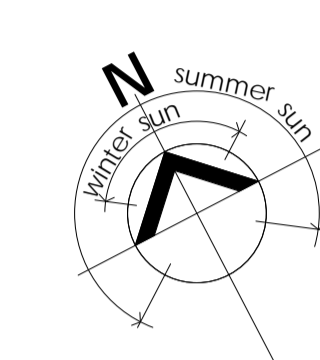
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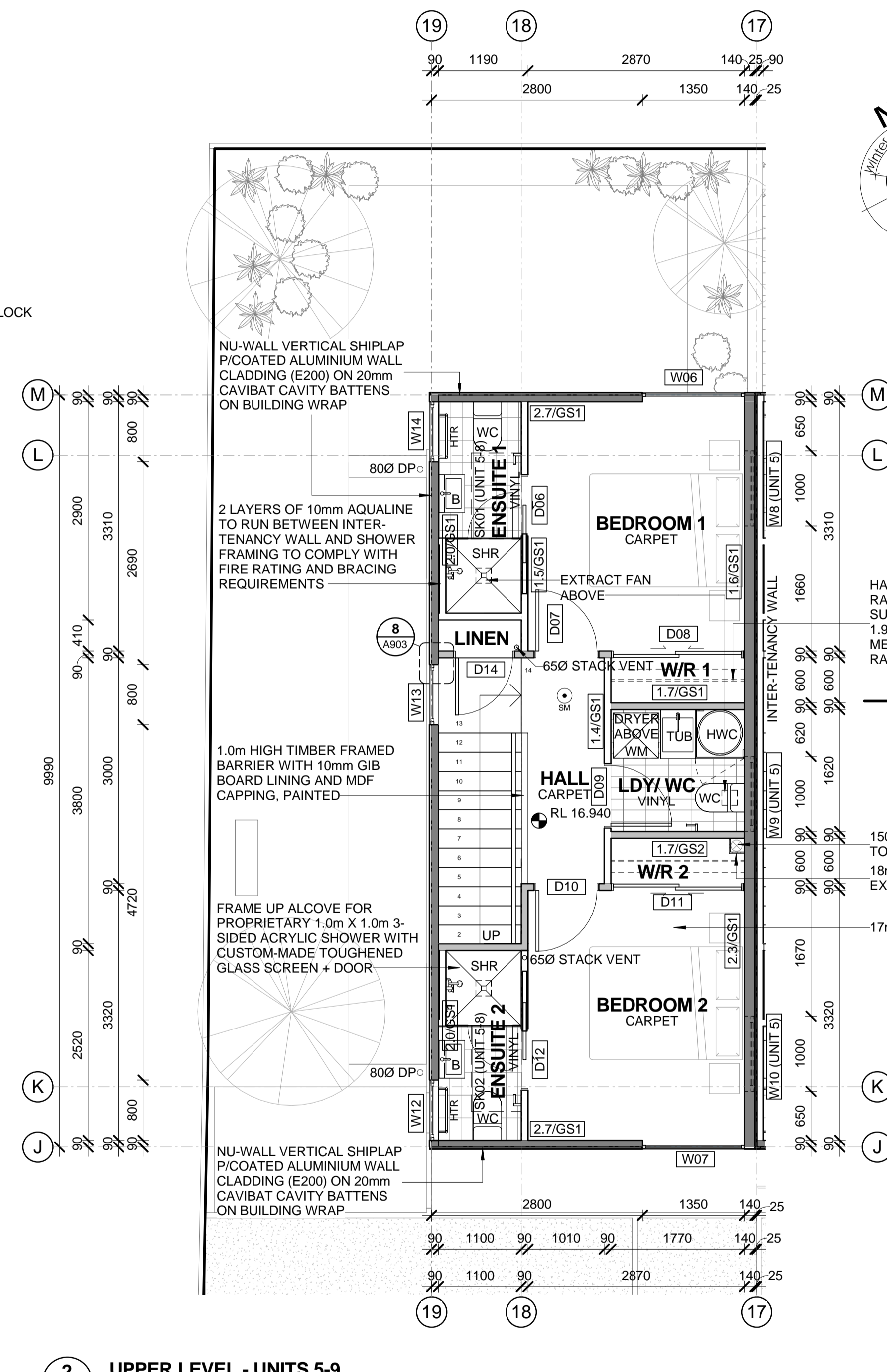
INTERIOR WATERPROOFING

REFER TO SPECIFICATION FOR TYPE OF WATERPROOFING.



TYPICAL FLOOR PLAN WITH UNIT 9 SHOWN ABOVE

1 GROUND LEVEL - UNITS 5-9
1:50



2 UPPER LEVEL - UNITS 5-9
1:50

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PROPOSED FLOOR PLANS
 - UNITS 5-9

JOB NUMBER 1603
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REVISION SCHEDULE

DESCRIPTION	DATE	REV
CCC RFI updates, notes added, and SW detention system	3/10/16	A
HWC drainage pipework changed	11/10/16	B
Kitchen floor waste gully added	17/10/16	C

FOUNDATION NOTES

REFER TO STRUCTURAL ENGINEER'S PS1 AND SUPPORTING DOCUMENTATION FOR DETAIL OF SPECIFIC ENGINEER DESIGN SCOPE AND REQUIRED SITE INSPECTIONS.

SITE EXCAVATION TO 1200mm BELOW GROUND LEVEL OR INTO NATURAL GROUND (BELOW FILL) WHICHEVER IS GREATER, EXTENT AS SHOWN ON FOUNDATION PLAN. LOCAL DEEPING WILL BE REQUIRED WHERE FILL EXTENDS BEYOND REQUIRED MINIMUM DEPTH OF 1.2m. FORM GRAVEL RAFT WITH 150mm MAX. COMPACTED AP65 HARDFILL AND TRIAX 160 GEOTEXTILE CLOTH LAYERS.

CONCRETE FLOOR SLAB CONSTRUCTION IS A WAFFLE SLAB WITH 300mm WIDE BEAMS AND 100mm WIDE RIBS x 400mm DEEP OVERALL INTERNALLY AND 800mm AT BOUNDARY. 1100x1100x300mm POLYSTYRENE PODS ON 0.25mm POLYTHENE DPM ON HARDFILL. REFER TO DETAIL. INSTALL IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. POUR SITE CONCRETE FOOTINGS BELOW WAFFLE SLAB PERIMETER FOOTINGS WHERE REQUIRED TO LANDSCAPE AREAS. (GROUND LEVEL IS UP TO 600mm BELOW FLOOR LEVEL. WAFFLE SLAB TOTAL DEPTH IS 400mm)

THE FLOOR SLABS SHALL BE MOIST CURED WITH WATER OR PROPRIETARY MEMBRANE FOR AT LEAST 7 DAYS AFTER CASTING. DO NOT SAWCUT UNIT 1-9 FLOOR SLABS.

SPLICING OF REINFORCEMENT, WHETHER BY LAPPING, WELDING OR MECHANICAL SPLICE, SHALL BE AS SHOWN ON THE DRAWINGS OR AS SPECIFICALLY APPROVED BY THE ENGINEER.

UNLESS SPECIFICALLY SHOWN OTHERWISE, BAR LAPS SHALL BE:
 D12 - 400mm
 HD12 - 800mm

CONCRETE GRADES:
 SITE CONCRETE - 17.5MPa
 GROUND FLOOR SLAB - 25MPa - SHRINKAGE CONTROLLED

CONCRETE COVER IS THE MINIMUM DISTANCE TO ANY REINFORCING STEEL, INCLUDING STIRRUPS/TIES. CONCRETE COVER AS SHOWN ON DRAWINGS OR TYPICALLY AS NOTED BELOW:
 SURFACES CAST AGAINST & EXPOSED TO EARTH - 75mm
 SURFACES CAST AGAINST DPM ON EARTH - 50mm
 INTERIOR ENVIRONMENT - 35mm

CONFIRM LOCATION OF ALL EXISTING SERVICES ON SITE, INCLUDING COUNCIL STORMWATER AND WASTEWATER LATERALS.

TIMBER PALING FENCES, FENCE POSTS AND FOOTINGS HAVE GENERALLY BEEN OMITTED FROM FOUNDATION PLANS. REFER TO SITE PLAN FOR LOCATION

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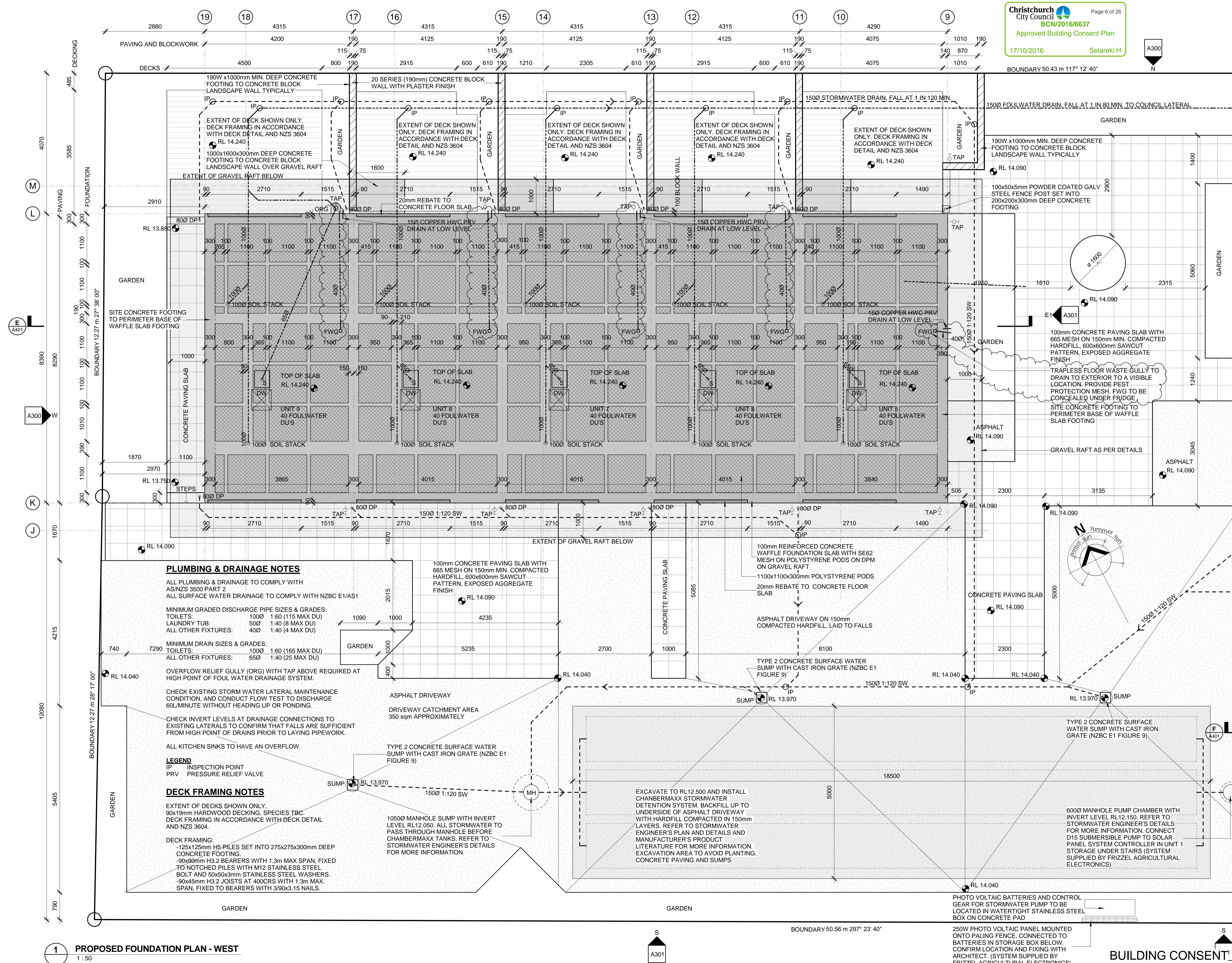
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PROPOSED FOUNDATION PLAN - UNITS 5-9

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A202 C



PLUMBING & DRAINAGE NOTES

ALL PLUMBING & DRAINAGE TO COMPLY WITH AS/NZS 3500 PART 2
 ALL SURFACE WATER DRAINAGE TO COMPLY WITH NZBC E1/AS1

MINIMUM GRADED DISCHARGE PIPE SIZES & GRADES:
 TOILETS: 100Ø 1:60 (115 MAX DU)
 LAUNDRY TUB: 50Ø 1:40 (8 MAX DU)
 ALL OTHER FIXTURES: 40Ø 1:40 (4 MAX DU)

MINIMUM DRAIN SIZES & GRADES:
 TOILETS: 100Ø 1:60 (165 MAX DU)
 ALL OTHER FIXTURES: 65Ø 1:40 (25 MAX DU)

OVERFLOW RELIEF GULLY (ORG) WITH TAP ABOVE REQUIRED AT HIGH POINT OF FOUL WATER DRAINAGE SYSTEM.

CHECK EXISTING STORM WATER LATERAL MAINTENANCE CONDITION, AND CONDUCT FLOW TEST TO DISCHARGE 60L/MINUTE WITHOUT HEADING UP OR PONDING.

CHECK INVERT LEVELS AT DRAINAGE CONNECTIONS TO EXISTING LATERALS TO CONFIRM THAT FALLS ARE SUFFICIENT FROM HIGH POINT OF DRAINS PRIOR TO LAYING PIPEWORK.

ALL KITCHEN SINKS TO HAVE AN OVERFLOW.

LEGEND

IP INSPECTION POINT
 PRV PRESSURE RELIEF VALVE

DECK FRAMING NOTES

EXTENT OF DECKS SHOWN ONLY.
 90x190mm HARDWOOD DECKING, SPECIES TBC.
 DECK FRAMING IN ACCORDANCE WITH DECK DETAIL AND NZS 3604.

DECK FRAMING:
 -125x125mm H5 PILES SET INTO 275x275x300mm DEEP CONCRETE FOOTING.
 -90x90mm H3.2 BEARERS WITH 1.3m MAX SPAN, FIXED TO NOTCHED PILES WITH M12 STAINLESS STEEL BOLT AND 50x50x3mm STAINLESS STEEL WASHERS.
 -90x45mm H3.2 JOISTS AT 400CRS WITH 1.3m MAX. SPAN, FIXED TO BEARERS WITH 3/90x3.15 NAILS.

100mm CONCRETE PAVING SLAB WITH 665 MESH ON 150mm MIN. COMPACTED HARDFILL, 600x600mm SAWCUT PATTERN, EXPOSED AGGREGATE FINISH
 RL 14.090

100mm REINFORCED CONCRETE WAFFLE FOUNDATION SLAB WITH SE62 MESH ON POLYSTYRENE PODS ON DPM ON GRAVEL RAFT
 1100x1100x300mm POLYSTYRENE PODS
 20mm REBATE TO CONCRETE FLOOR SLAB

ASPHALT DRIVEWAY ON 150mm COMPACTED HARDFILL, LAID TO FALLS

TYPE 2 CONCRETE SURFACE WATER SUMP WITH CAST IRON GRATE (NZBC E1 FIGURE 9)

EXCAVATE TO RL12.500 AND INSTALL CHAMBERMAXX STORMWATER DETENTION SYSTEM. BACKFILL UP TO UNDERSIDE OF ASPHALT DRIVEWAY WITH HARDFILL COMPACTED IN 150mm LAYERS. REFER TO STORMWATER ENGINEER'S PLAN AND DETAILS AND MANUFACTURER'S PRODUCT LITERATURE FOR MORE INFORMATION. EXCAVATION AREA TO AVOID PLANTING, CONCRETE PAVING AND SUMPS

600Ø MANHOLE PUMP CHAMBER WITH INVERT LEVEL RL12.150. REFER TO STORMWATER ENGINEER'S DETAILS FOR MORE INFORMATION. CONNECT D15 SUBMERSIBLE PUMP TO SOLAR PANEL SYSTEM CONTROLLER IN UNIT 1 STORAGE UNDER STAIRS (SYSTEM SUPPLIED BY FRIZZEL AGRICULTURAL ELECTRONICS)

PHOTO VOLTAIC BATTERIES AND CONTROL GEAR FOR STORMWATER PUMP TO BE LOCATED IN WATERTIGHT STAINLESS STEEL BOX ON CONCRETE PAD

250W PHOTO VOLTAIC PANEL MOUNTED ONTO PALING FENCE, CONNECTED TO BATTERIES IN STORAGE BOX BELOW. CONFIRM LOCATION AND FIXING WITH ARCHITECT. (SYSTEM SUPPLIED BY FRIZZEL AGRICULTURAL ELECTRONICS)

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REVISION SCHEDULE

DESCRIPTION	DATE	REV
CCC RFI updates, notes added, and SW detention system	3/10/16	A
HWC drainage pipework changed	11/10/16	B
Kitchen floor waste gully added	17/10/16	C

FOUNDATION NOTES

REFER TO STRUCTURAL ENGINEER'S PS1 AND SUPPORTING DOCUMENTATION FOR DETAIL OF SPECIFIC ENGINEER DESIGN SCOPE AND REQUIRED SITE INSPECTIONS.

SITE EXCAVATION TO 1200mm BELOW GROUND LEVEL OR INTO NATURAL GROUND (BELOW FILL) WHICHEVER IS GREATER. EXTENT AS SHOWN ON FOUNDATION PLAN. LOCAL DEEPING WILL BE REQUIRED WHERE FILL EXTENDS BEYOND REQUIRED MINIMUM DEPTH OF 1.2m. FORM GRAVEL RAFT WITH 150mm MAX. COMPACTED AP65 HARDFILL AND TRIAX 160 GEOTEXTILE CLOTH LAYERS.

CONCRETE FLOOR SLAB CONSTRUCTION IS A WAFFLE SLAB WITH 300mm WIDE BEAMS AND 100mm WIDE RIBS x 400mm DEEP OVERALL INTERNALLY AND 800mm AT BOUNDARY. 1100x1100x300mm POLYSTYRENE PODS ON 0.25mm POLYTHENE DPM ON HARDFILL. REFER TO DETAIL. INSTALL IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. POUR SITE CONCRETE FOOTINGS BELOW WAFFLE SLAB PERIMETER FOOTINGS WHERE REQUIRED TO LANDSCAPE AREAS. (GROUND LEVEL IS UP TO 600mm BELOW FLOOR LEVEL. WAFFLE SLAB TOTAL DEPTH IS 400mm)

THE FLOOR SLABS SHALL BE MOIST CURED WITH WATER OR PROPRIETARY MEMBRANE FOR AT LEAST 7 DAYS AFTER CASTING. DO NOT SAWCUT UNIT 1-9 FLOOR SLABS.

SPLICING OF REINFORCEMENT, WHETHER BY LAPPING, WELDING OR MECHANICAL SPLICE, SHALL BE AS SHOWN ON THE DRAWINGS OR AS SPECIFICALLY APPROVED BY THE ENGINEER. UNLESS SPECIFICALLY SHOWN OTHERWISE, BAR LAPS SHALL BE: D12 - 400mm, HD12 - 800mm

CONCRETE GRADES:
 SITE CONCRETE - 17.5MPa
 GROUND FLOOR SLAB - 25MPa - SHRINKAGE CONTROLLED

CONCRETE COVER IS THE MINIMUM DISTANCE TO ANY REINFORCING STEEL, INCLUDING STIRRUPS/TIES. CONCRETE COVER AS SHOWN ON DRAWINGS OR TYPICALLY AS NOTED BELOW:
 SURFACES CAST AGAINST & EXPOSED TO EARTH - 75mm
 SURFACES CAST AGAINST DPM ON EARTH - 50mm
 INTERIOR ENVIRONMENT - 35mm

CONFIRM LOCATION OF ALL EXISTING SERVICES ON SITE, INCLUDING COUNCIL STORMWATER AND WASTEWATER LATERALS.

TIMBER PALING FENCES, FENCE POSTS AND FOOTINGS HAVE GENERALLY BEEN OMITTED FROM FOUNDATION PLANS. REFER TO SITE PLAN FOR LOCATION

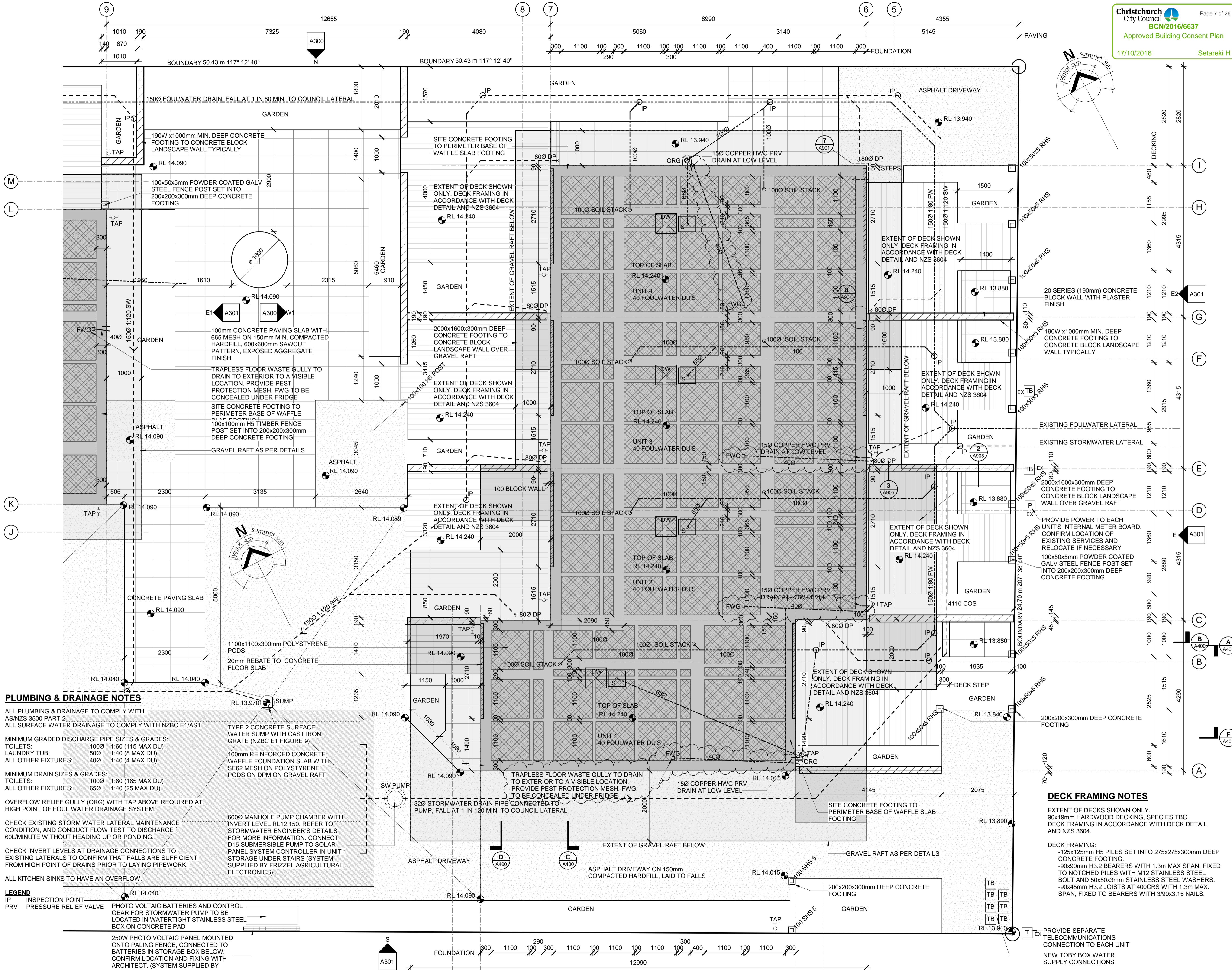
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 Christchurch 8140
 03 943 3911
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 collettarchitects.co.nz

HOUSING DEVELOPMENT

63+65 OSBORNE ST
 WALTHAM
 CHRISTCHURCH

PROPOSED FOUNDATION PLAN - UNITS 1-4

JOB NUMBER 1603
 SHEET ISSUE DATE 17/10/16
 SCALE AT A1 As indicated



PLUMBING & DRAINAGE NOTES

ALL PLUMBING & DRAINAGE TO COMPLY WITH AS/NZS 3500 PART 2
 ALL SURFACE WATER DRAINAGE TO COMPLY WITH NZBC E1/AS1

MINIMUM GRADED DISCHARGE PIPE SIZES & GRADES:

TOILETS:	1000	1:60 (115 MAX DU)
LAUNDRY TUB:	500	1:40 (8 MAX DU)
ALL OTHER FIXTURES:	400	1:40 (4 MAX DU)

MINIMUM DRAIN SIZES & GRADES:

TOILETS:	1000	1:60 (165 MAX DU)
ALL OTHER FIXTURES:	650	1:40 (25 MAX DU)

OVERFLOW RELIEF GULLY (ORG) WITH TAP ABOVE REQUIRED AT HIGH POINT OF FOUL WATER DRAINAGE SYSTEM.

CHECK EXISTING STORM WATER LATERAL MAINTENANCE CONDITION, AND CONDUCT FLOW TEST TO DISCHARGE 60L/MINUTE WITHOUT HEADING UP OR PONDING.

CHECK INVERT LEVELS AT DRAINAGE CONNECTIONS TO EXISTING LATERALS TO CONFIRM THAT FALLS ARE SUFFICIENT FROM HIGH POINT OF DRAINS PRIOR TO LAYING PIPEWORK.

ALL KITCHEN SINKS TO HAVE AN OVERFLOW.

LEGEND

- IP INSPECTION POINT
- PRV PRESSURE RELIEF VALVE
- PHOTO VOLTAIC BATTERIES AND CONTROL GEAR FOR STORMWATER PUMP TO BE LOCATED IN WATERTIGHT STAINLESS STEEL BOX ON CONCRETE PAD

250W PHOTO VOLTAIC PANEL MOUNTED ONTO PALING FENCE, CONNECTED TO BATTERIES IN STORAGE BOX BELOW. CONFIRM LOCATION AND FIXING WITH ARCHITECT. (SYSTEM SUPPLIED BY FRIZZEL AGRICULTURAL ELECTRONICS)

TYPE 2 CONCRETE SURFACE WATER SUMP WITH CAST IRON GRATE (NZBC E1 FIGURE 9)
 100mm REINFORCED CONCRETE WAFFLE FOUNDATION SLAB WITH SE62 MESH ON POLYSTYRENE PODS ON DPM ON GRAVEL RAFT
 6000 MANHOLE PUMP CHAMBER WITH INVERT LEVEL RL12.150. REFER TO STORMWATER ENGINEER'S DETAILS FOR MORE INFORMATION. CONNECT D15 SUBMERSIBLE PUMP TO SOLAR PANEL SYSTEM CONTROLLER IN UNIT 1 STORAGE UNDER STAIRS (SYSTEM SUPPLIED BY FRIZZEL AGRICULTURAL ELECTRONICS)

1 PROPOSED FOUNDATION PLAN - EAST
 1:50

DECK FRAMING NOTES

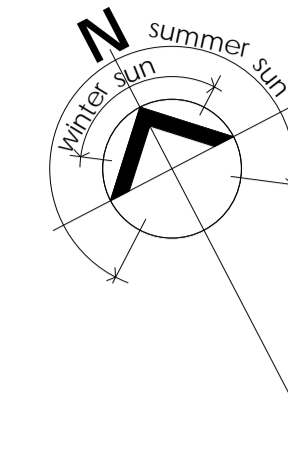
EXTENT OF DECKS SHOWN ONLY. 90x19mm HARDWOOD DECKING, SPECIES TBC. DECK FRAMING IN ACCORDANCE WITH DECK DETAIL AND NZS 3604.

DECK FRAMING:
 -125x125mm H5 PILES SET INTO 275x275x300mm DEEP CONCRETE FOOTING.
 -90x90mm H3.2 BEARERS WITH 1.3m MAX SPAN, FIXED TO NOTCHED PILES WITH M12 STAINLESS STEEL BOLT AND 50x50x3mm STAINLESS STEEL WASHERS.
 -90x45mm H3.2 JOISTS AT 400CS WITH 1.3m MAX. SPAN, FIXED TO BEARERS WITH 3/90x3.15 NAILS.

PROVIDE SEPARATE TELECOMMUNICATIONS CONNECTION TO EACH UNIT
 NEW TOBY BOX WATER SUPPLY CONNECTIONS

BUILDING CONSENT

A203 C

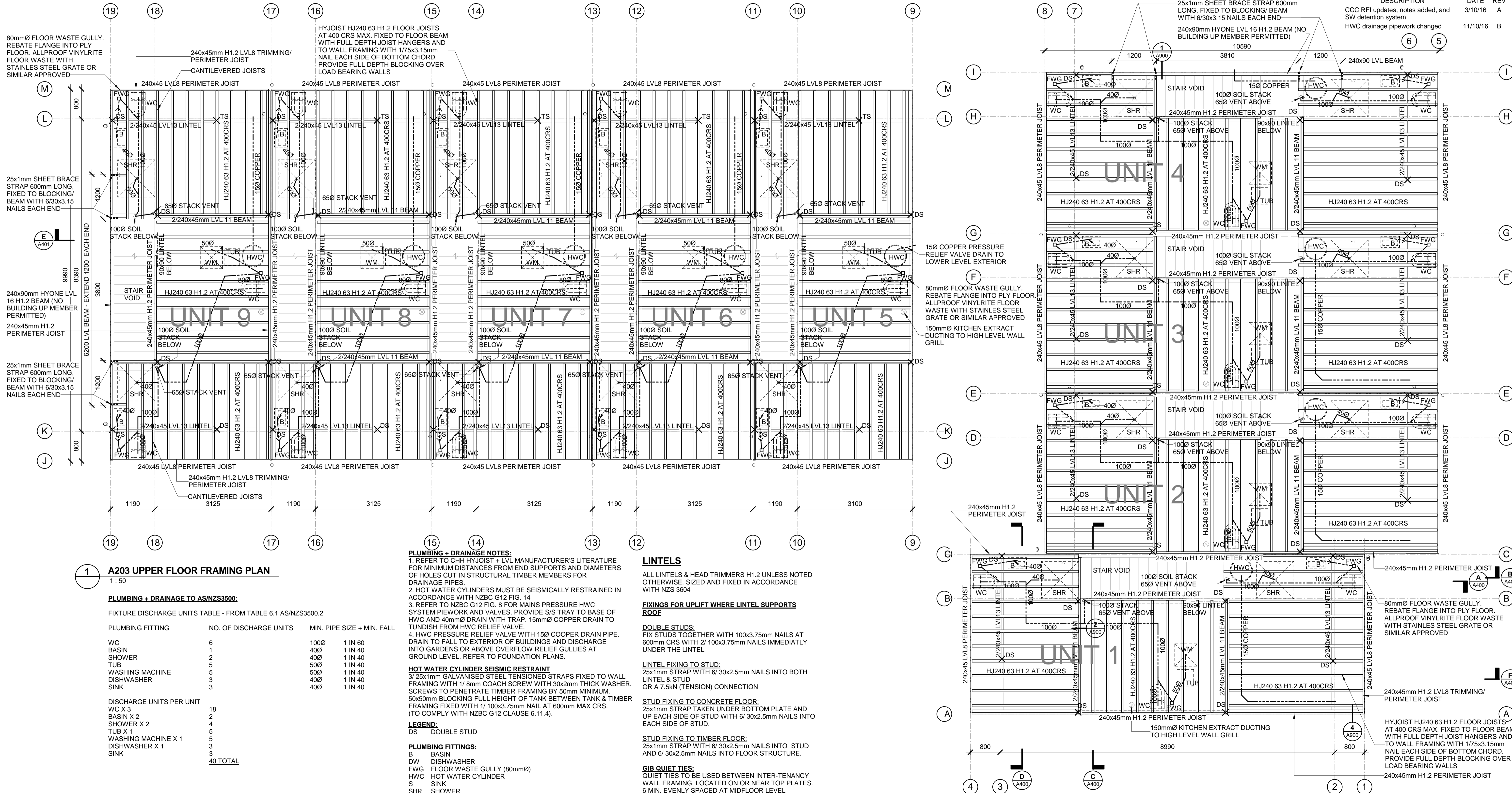


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REVISION SCHEDULE

DESCRIPTION	DATE	REV
CCC RFI updates, notes added, and SW detention system	3/10/16	A
HWC drainage pipework changed	11/10/16	B



1 A203 UPPER FLOOR FRAMING PLAN
 1:50

PLUMBING + DRAINAGE TO AS/NZS3500:

FIXTURE DISCHARGE UNITS TABLE - FROM TABLE 6.1 AS/NZS3500.2

PLUMBING FITTING	NO. OF DISCHARGE UNITS	MIN. PIPE SIZE + MIN. FALL
WC	6	1000 1 IN 60
BASIN	1	400 1 IN 40
SHOWER	2	400 1 IN 40
TUB	5	500 1 IN 40
WASHING MACHINE	5	500 1 IN 40
DISHWASHER	3	400 1 IN 40
SINK	3	400 1 IN 40
DISCHARGE UNITS PER UNIT		
WC X 3	18	
BASIN X 2	2	
SHOWER X 2	4	
TUB X 1	5	
WASHING MACHINE X 1	5	
DISHWASHER X 1	3	
SINK	3	
40 TOTAL		

PLUMBING + DRAINAGE NOTES:

1. REFER TO CHH HYJOIST + LVL MANUFACTURER'S LITERATURE FOR MINIMUM DISTANCES FROM END SUPPORTS AND DIAMETERS OF HOLES CUT IN STRUCTURAL TIMBER MEMBERS FOR DRAINAGE PIPES.
 2. HOT WATER CYLINDERS MUST BE SEISMICALLY RESTRAINED IN ACCORDANCE WITH NZBC G12 FIG. 14
 3. REFER TO NZBC G12 FIG. 8 FOR MAINS PRESSURE HWC SYSTEM PIPEWORK AND VALVES. PROVIDE S/S TRAY TO BASE OF HWC AND 40mmØ DRAIN WITH TRAP. 15mmØ COPPER DRAIN TO TUNDISH FROM HWC RELIEF VALVE.
 4. HWC PRESSURE RELIEF VALVE WITH 15Ø COOPER DRAIN PIPE. DRAIN TO FALL TO EXTERIOR OF BUILDINGS AND DISCHARGE INTO GARDENS OR ABOVE OVERFLOW RELIEF GULLIES AT GROUND LEVEL. REFER TO FOUNDATION PLANS.
- HOT WATER CYLINDER SEISMIC RESTRAINT**
 3/ 25x1mm GALVANISED STEEL TENSIONED STRAPS FIXED TO WALL FRAMING WITH 1/ 8mm COACH SCREW WITH 30x2mm THICK WASHER. SCREWS TO PENETRATE TIMBER FRAMING BY 50mm MINIMUM. 50x50mm BLOCKING FULL HEIGHT OF TANK BETWEEN TANK & TIMBER FRAMING FIXED WITH 1/ 100x3.75mm NAIL AT 600mm MAX CRS. (TO COMPLY WITH NZBC G12 CLAUSE 6.11.4).

LEGEND:

- DS DOUBLE STUD
- B BASIN
- DW DISH-WASHER
- FWG FLOOR WASTE GULLY (80mmØ)
- HWC HOT WATER CYLINDER
- S SINK
- SHR SHOWER
- WC WATER CLOSET
- MACHINE

LINTELS

ALL LINTELS & HEAD TRIMMERS H1.2 UNLESS NOTED OTHERWISE. SIZED AND FIXED IN ACCORDANCE WITH NZS 3604

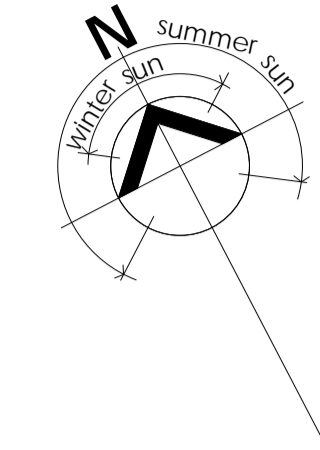
FIXINGS FOR UPLIFT WHERE LINTEL SUPPORTS ROOF

- DOUBLE STUDS:**
 FIX STUDS TOGETHER WITH 100x3.75mm NAILS AT 600mm CRS WITH 2/ 100x3.75mm NAILS IMMEDIATELY UNDER THE LINTEL
- LINTEL FIXING TO STUD:**
 25x1mm STRAP WITH 6/ 30x2.5mm NAILS INTO BOTH LINTEL & STUD
 OR A 7.5kN (TENSION) CONNECTION
- STUD FIXING TO CONCRETE FLOOR:**
 25x1mm STRAP TAKEN UNDER BOTTOM PLATE AND UP EACH SIDE OF STUD WITH 6/ 30x2.5mm NAILS INTO EACH SIDE OF STUD.
- STUD FIXING TO TIMBER FLOOR:**
 25x1mm STRAP WITH 6/ 30x2.5mm NAILS INTO STUD AND 6/ 30x2.5mm NAILS INTO FLOOR STRUCTURE.

GIB QUIET TIES:

QUIET TIES TO BE USED BETWEEN INTER-TENANCY WALL FRAMING. LOCATED ON OR NEAR TOP PLATES. 6 MIN. EVENLY SPACED AT MIDFLOOR LEVEL. 4 MIN. EVENLY SPACED AT ROOF LEVEL

BUILDING CONSENT

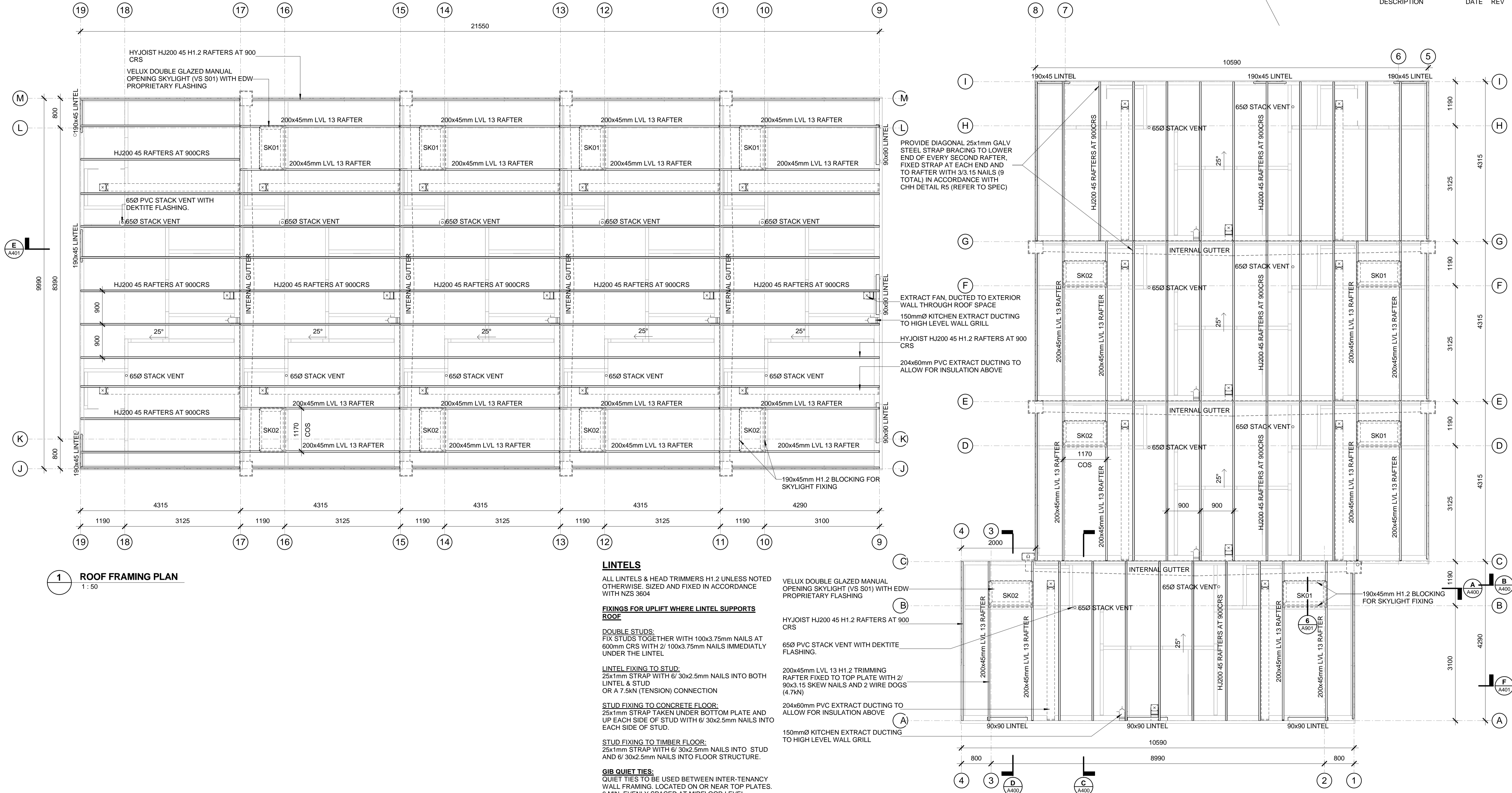


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REVISION SCHEDULE

DESCRIPTION	DATE	REV
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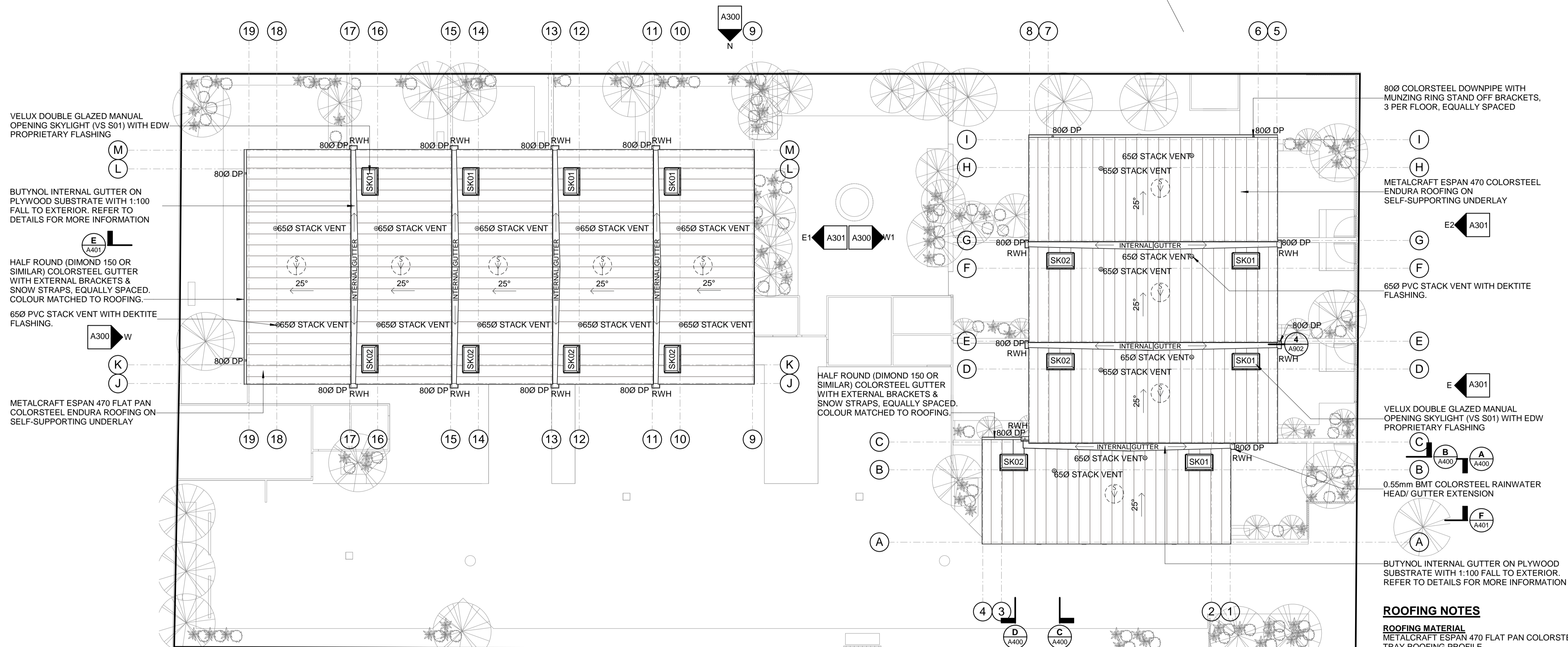
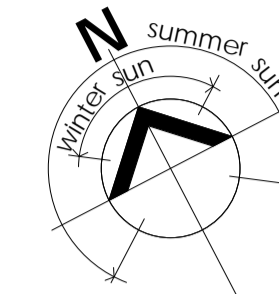


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REVISION SCHEDULE

DESCRIPTION	DATE	REV
Plaster type changed, minor drawing updates	23/08/16	A



1 ROOF PLAN
1 : 100

- 800 COLORSTEEL DOWNPIPE WITH MUNZING RING STAND OFF BRACKETS, 3 PER FLOOR, EQUALLY SPACED
- METALCRAFT ESPAN 470 COLORSTEEL ENDURA ROOFING ON SELF-SUPPORTING UNDERLAY
- 650 PVC STACK VENT WITH DEKTITE FLASHING.
- VELUX DOUBLE GLAZED MANUAL OPENING SKYLIGHT (VS S01) WITH EDW PROPRIETARY FLASHING
- 0.55mm BMT COLORSTEEL RAINWATER HEAD/ GUTTER EXTENSION
- BUTYNOL INTERNAL GUTTER ON PLYWOOD SUBSTRATE WITH 1:100 FALL TO EXTERIOR. REFER TO DETAILS FOR MORE INFORMATION

ROOFING NOTES

- ROOFING MATERIAL**
METALCRAFT ESPAN 470 FLAT PAN COLORSTEEL TRAY ROOFING PROFILE 0.4mm BMT
- RESTRICTED ROOF ACCESS:**
-400mm MAX SPAN BETWEEN PURLINS
- COLOUR MATCHING**
ALL FLASHINGS AND FIXINGS TO MATCH ROOF COLOUR.
- INTERNAL GUTTERS**
1.5mm BLACK BUTYNOL WPM TO INTERNAL GUTTER ON 17mm H3.2 PLYWOOD SUBSTRATE.
- EXTERNAL GUTTERS**
HALF ROUND (DIMOND 150 OR SIMILAR) COLORSTEEL GUTTERS WITH EXTERNAL BRACKETS & SNOW STRAPS, EQUALLY SPACED. COLOUR MATCHED TO ROOFING.
- DOWNPIPES**
800 COLORSTEEL DOWNPIPES WITH MUNZING RING STAND OFF BRACKETS, 3 PER FLOOR, EQUALLY SPACED.
- SKYLIGHTS SK01 & SK02**
VELUX DOUBLE GLAZED MANUAL OPENING SKYLIGHTS (VS S01) WITH EDW PROPRIETARY FLASHING. INSTALL IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS
- DEKTITE PREMIUM BLACK EPDM BOOT FLASHINGS TO ALL CIRCULAR ROOF PENETRATIONS
- REFER TO FOUNDATION PLANS FOR STORMWATER DRAINAGE PIPE SIZES AND LAYOUT.

- LEGEND**
SKY OR UHF TV AERIAL. CONFIRM LOCATION AND INSTALLATION METHODOLOGY WITH ARCHITECT

ROHAN COLLETT ARCHITECTS
 Unit 5 75 Gloucester Street PO Box 1406 Christchurch 8140
 P 03 943 3911 E info@collettarchitects.co.nz W collettarchitects.co.nz

HOUSING DEVELOPMENT

63+65 OSBORNE ST
 WALTHAM
 CHRISTCHURCH

PROPOSED ROOF PLAN

JOB NUMBER 1603
 SHEET ISSUE DATE 3/10/16
 SCALE AT A1 1 : 100

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REVISION SCHEDULE

DESCRIPTION	DATE	REV

NZBC E2 RISK MATRIX

	RISK	SCORE
A WIND ZONE - LOW	L	0
B No. OF STOREYS - 2	H	2
C ROOF/WALL JUNCTIONS	VH	5
D EAVES WIDTH	VH	5
E ENVELOPE COMPLEXITY	H	3
F DECKS	L	0
TOTAL		15

- CLADDING TYPES ARE:
- METAL TRAY VERTICAL CLADDING WITH SECRET FIXINGS ON 20mm DRAINED CAVITY.
 - AAC AERATED CONCRETE LIGHTWEIGHT CLADDING WITH PLASTER FINISH ON 20mm CAVITY
 - NU-WALL POWDER COATED ALUMINIUM VERTICAL SHIPLAP CLADDING ON 20mm CAVITY
 - FIBRE CEMENT SHEET CLADDING ON 20mm CAVITY (ABOVE AND BELOW SLOPING WINDOWS ONLY)

ALL SELECTED CLADDINGS COMPLY WITH THE RISK MATRIX

NZBC H1 COMPLIANCE

TOTAL WALL AREA: 910m²
 30% OF TOTAL WALL AREA: 273m²
 TOTAL GLAZING AREA: 220m²
 TOTAL WALL AREA E.W.S: 744m²
 30% OF WALL AREA E.W.S: 223m²
 GLAZING AREA E.W.S: 160m²

- TOTAL GLAZING AREA IS LESS THAN 30% OF TOTAL WALL AREA
- GLAZING AREA ON EAST, WEST AND SOUTH WALLS IS LESS THAN 30% OF THE TOTAL WALL AREA OF THESE WALLS
- THERE IS NO LEADLIGHT GLASS
- TOTAL AREA OF SKYLIGHTS & ROOF GLAZING PER UNIT IS LESS THAN 1.2 m²

THEREFORE H1/AS1 - SCHEDULE METHOD CAN BE USED.

MINIMUM R VALUES REQUIRED:

ROOF	R3.3
WALLS	R2.0
FLOOR	R1.3
GLAZING	R0.26
SKYLIGHTS	R0.31

PROPOSED INSULATION R VALUES:

ROOF	R3.6
WALLS (90mm)	R2.8
WALLS (140mm)	R4.0
UPPER FLOOR	R1.6
GLAZING	R0.26
SKYLIGHTS	R0.53

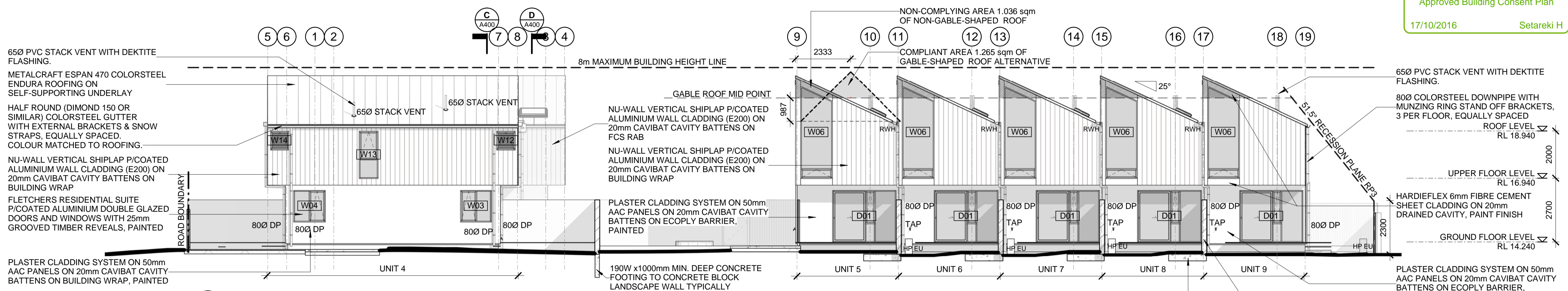
ROHAN COLLETT ARCHITECTS
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HOUSING DEVELOPMENT

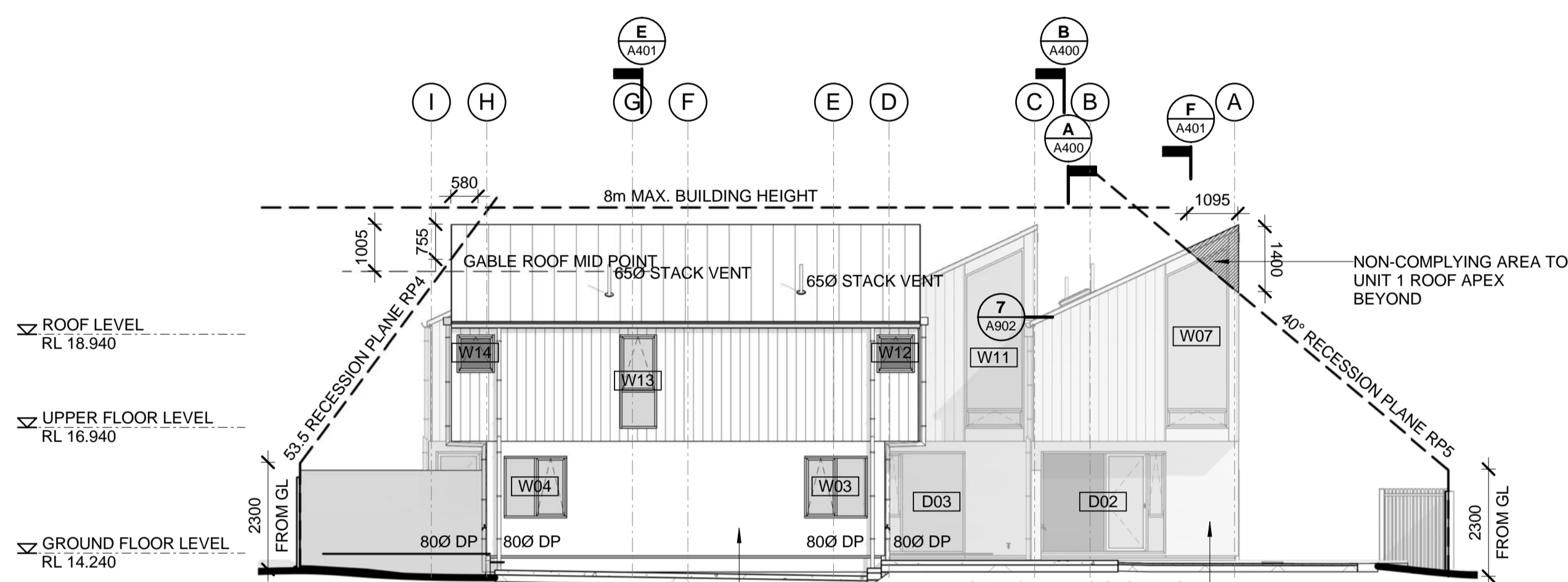
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PROPOSED ELEVATIONS

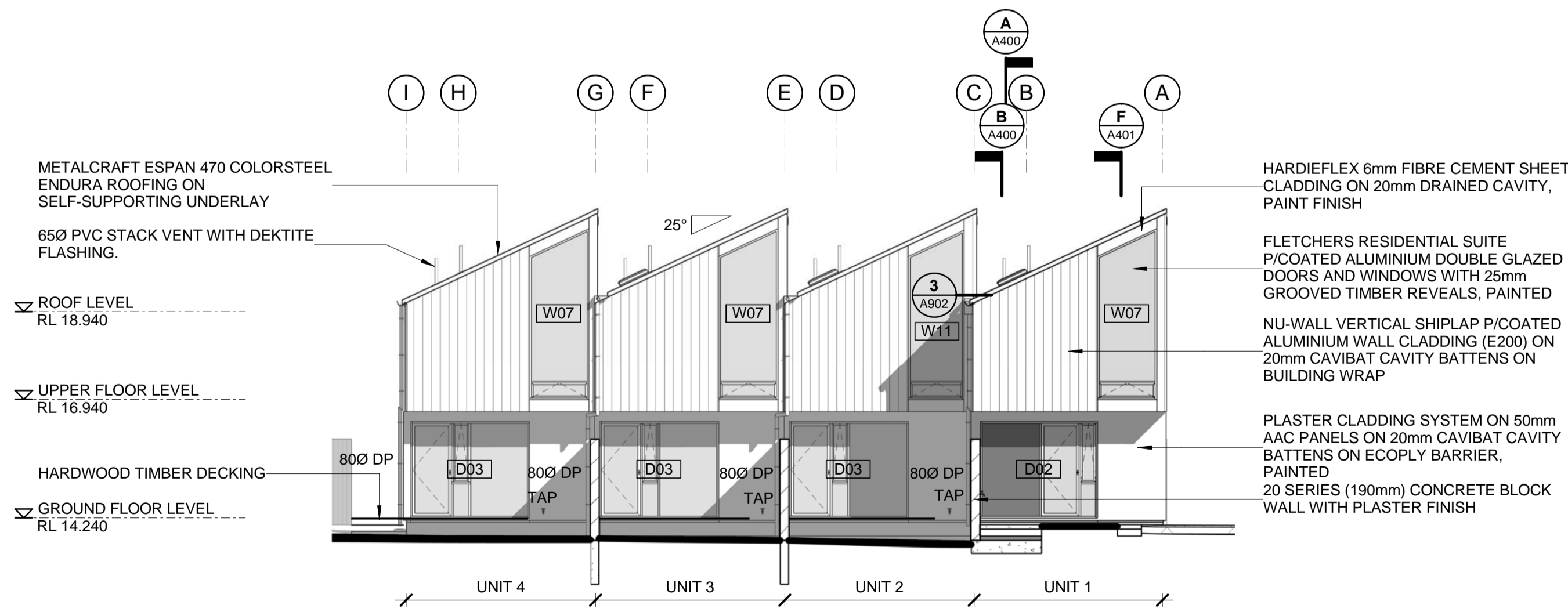
JOB NUMBER 1603
 SHEET ISSUE DATE 3/10/16
 SCALE AT A1 As indicated



N NORTH ELEVATION
 A101 1:100



W WEST ELEVATION
 A101 1:100



W1 WEST ELEVATION - UNITS 1-4
 A101 1:100

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	RISK	SCORE
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B No. OF STOREYS - 2	H	2
C ROOF/WALL JUNCTIONS	VH	5
D EAVES WIDTH	VH	5
E ENVELOPE COMPLEXITY	H	3
F DECKS	L	0
TOTAL		15

CLADDING TYPES ARE:

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ALL SELECTED CLADDINGS COMPLY WITH THE RISK MATRIX

NZBC H1 COMPLIANCE

TOTAL WALL AREA:	910m ²
30% OF TOTAL WALL AREA:	273m ²
TOTAL GLAZING AREA:	220m ²
TOTAL WALL AREA E,W,S:	744m ²
30% OF WALL AREA E,W,S:	223m ²
GLAZING AREA E,W,S:	160m ²

- TOTAL GLAZING AREA IS LESS THAN 30% OF TOTAL WALL AREA
- GLAZING AREA ON EAST, WEST AND SOUTH WALLS IS LESS THAN 30% OF THE TOTAL WALL AREA OF THESE WALLS
- THERE IS NO LEADLIGHT GLASS
- TOTAL AREA OF SKYLIGHTS & ROOF GLAZING PER UNIT IS LESS THAN 1.2 m²

THEREFORE H1/AS1 - SCHEDULE METHOD CAN BE USED.

MINIMUM R VALUES REQUIRED:

ROOF	R3.3
WALLS	R2.0
FLOOR	R1.3
GLAZING	R0.26
SKYLIGHTS	R0.31

PROPOSED INSULATION R VALUES:

ROOF	R3.6
WALLS (90mm)	R2.8
WALLS (140mm)	R4.0
UPPER FLOOR	R1.6
GLAZING	R0.26
SKYLIGHTS	R0.53

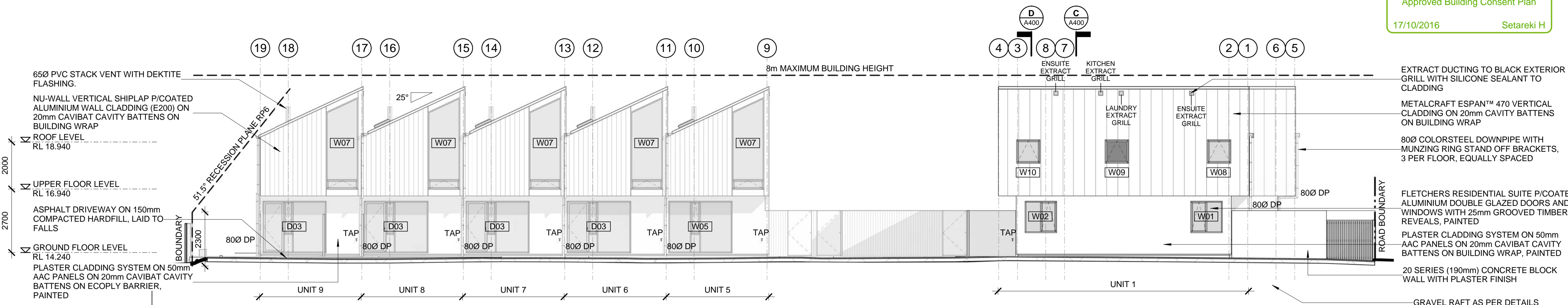
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HOUSING DEVELOPMENT

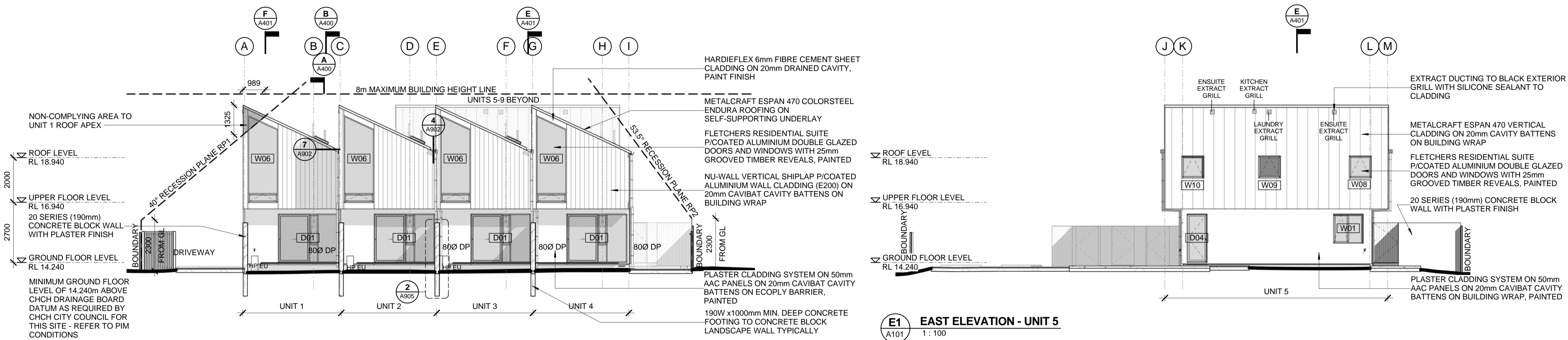
63+65 OSBORNE ST
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 CHRISTCHURCH

PROPOSED ELEVATIONS

JOB NUMBER 1603
 SHEET ISSUE DATE 3/10/16
 SCALE AT A1 As indicated

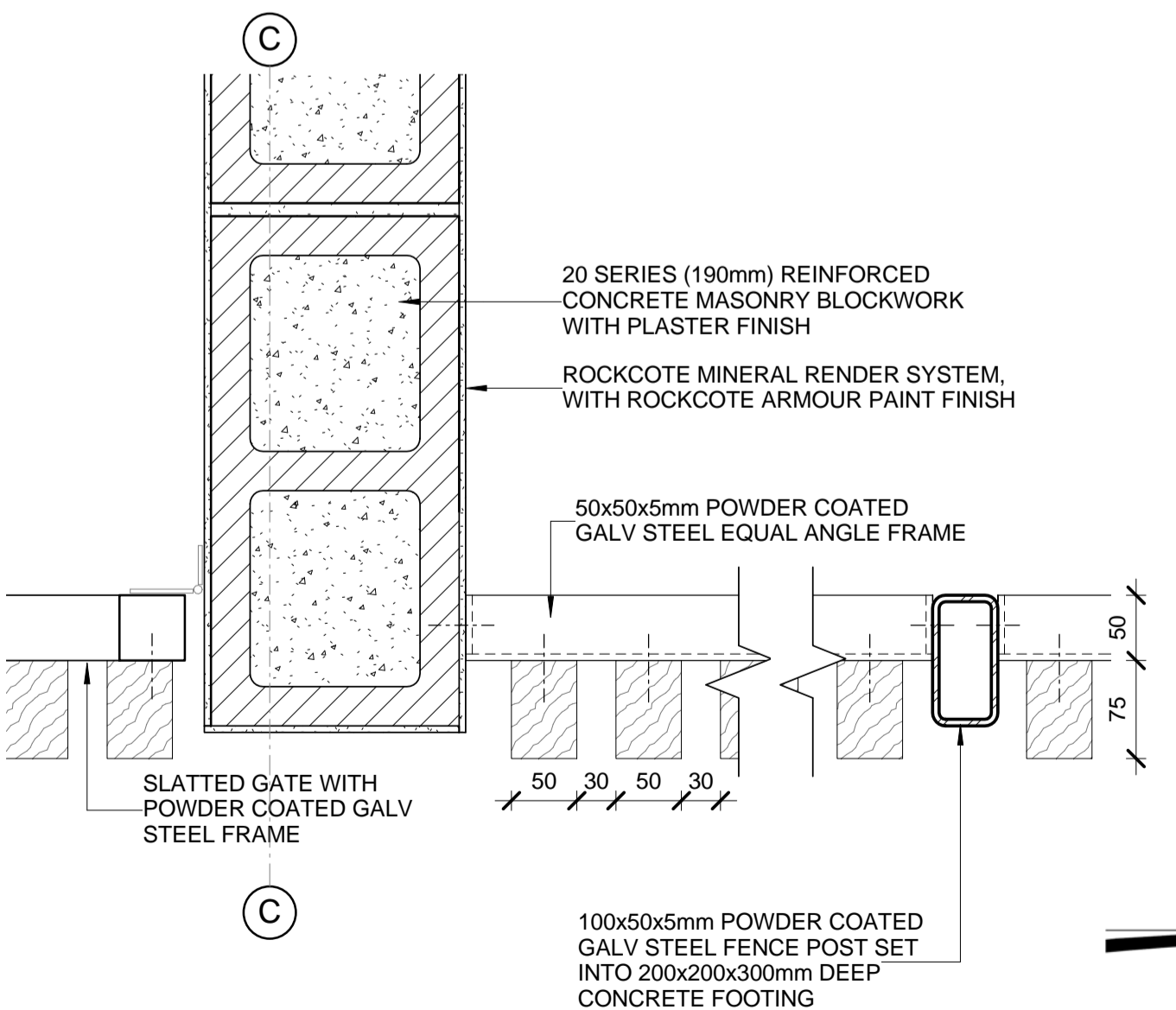


S SOUTH ELEVATION
 A101 1:100

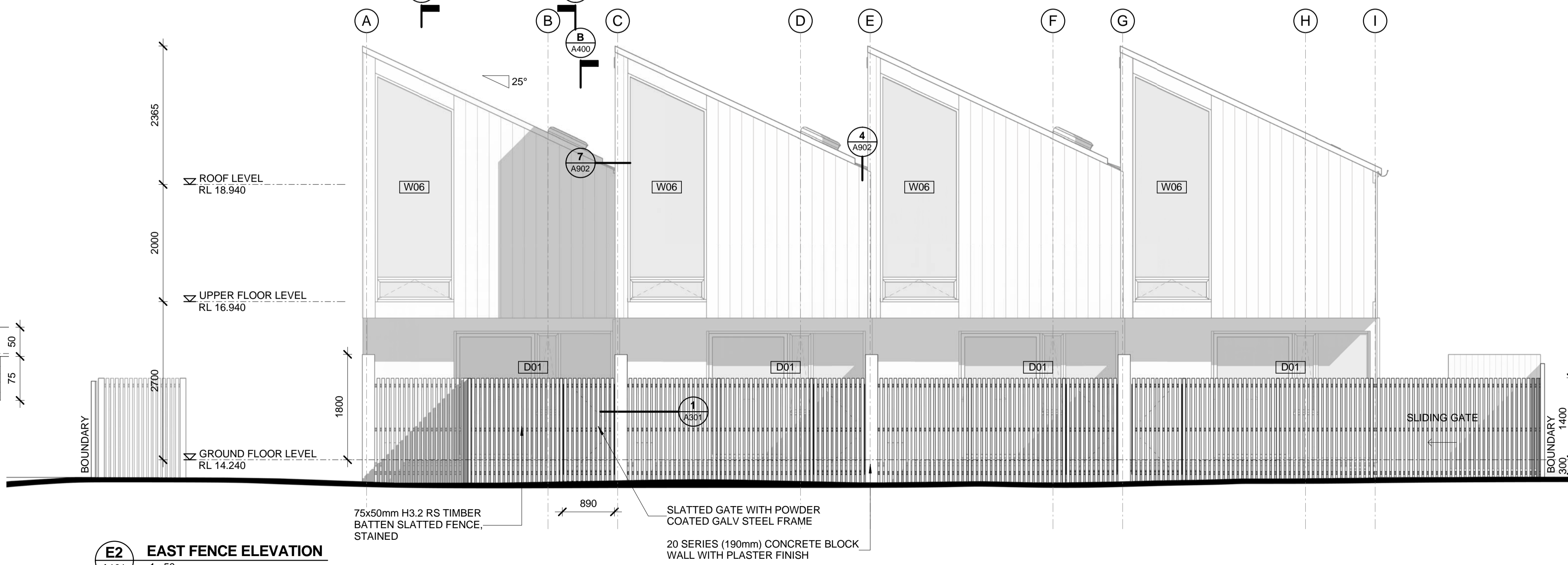


E1 EAST ELEVATION - UNIT 5
 A101 1:100

E EAST ELEVATION
 A101 1:100



1 FENCE AND GATE DETAIL
 A301 1:5



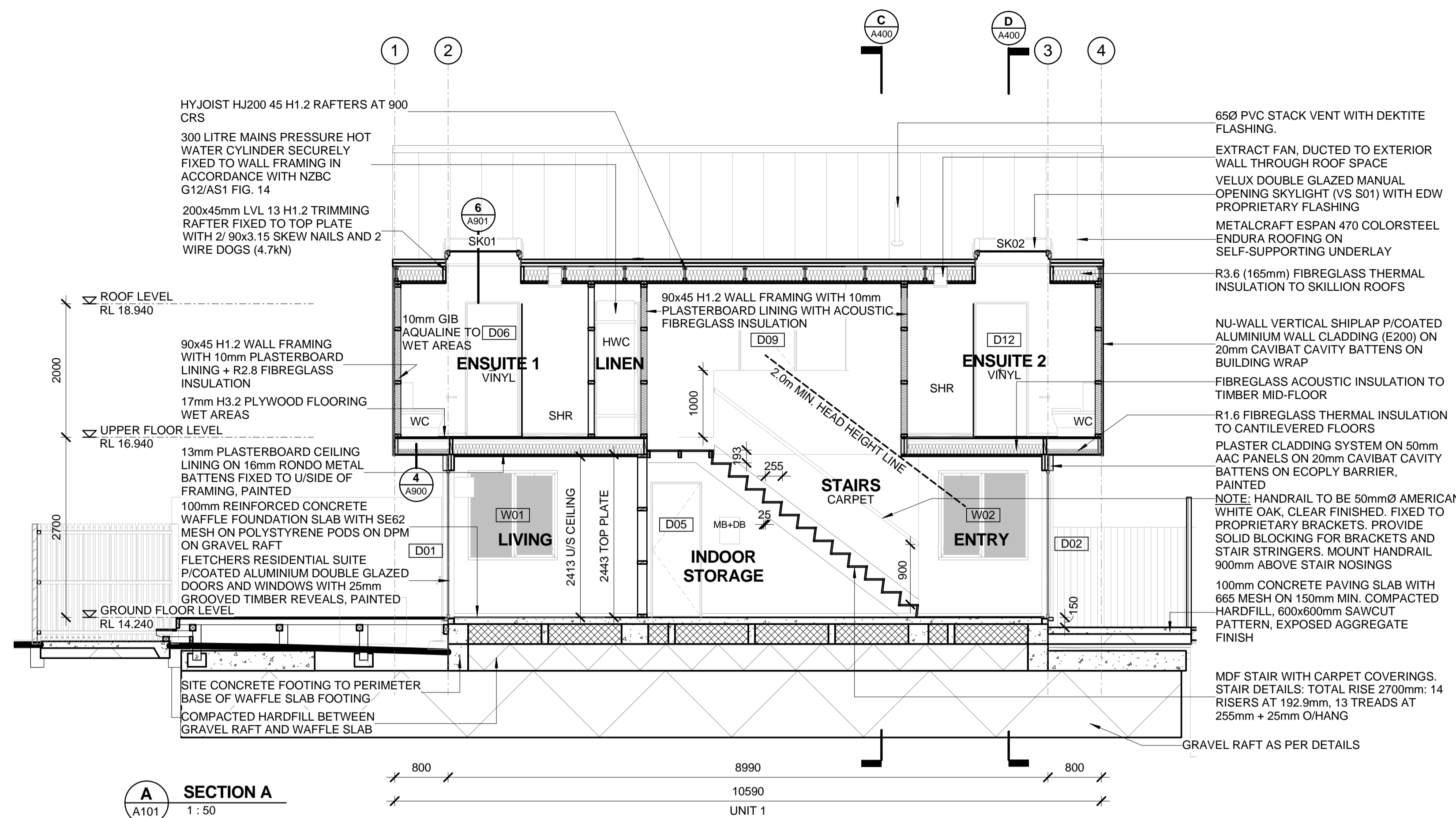
E2 EAST FENCE ELEVATION
 A101 1:50

GENERAL NOTES

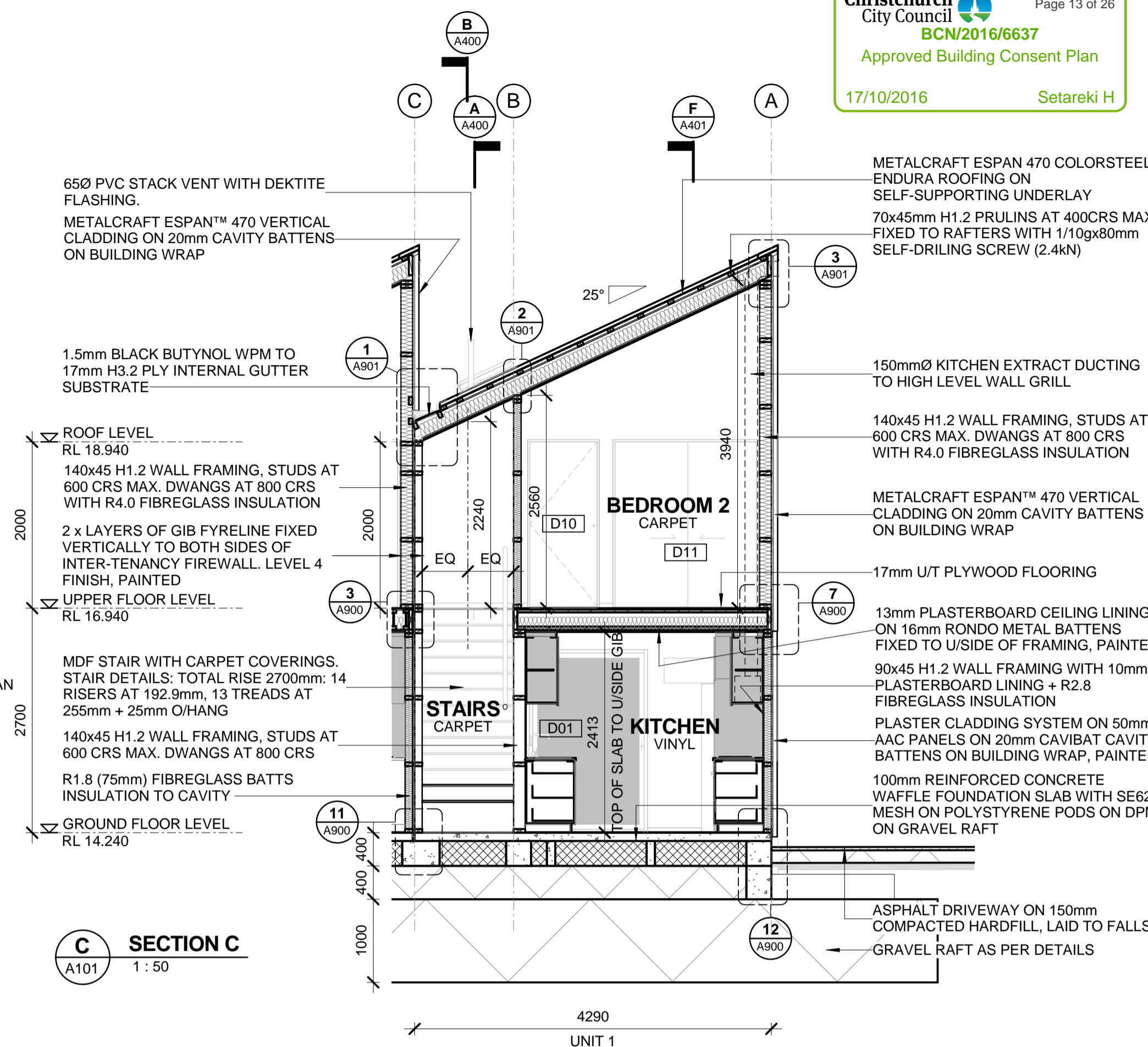
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REVISION SCHEDULE

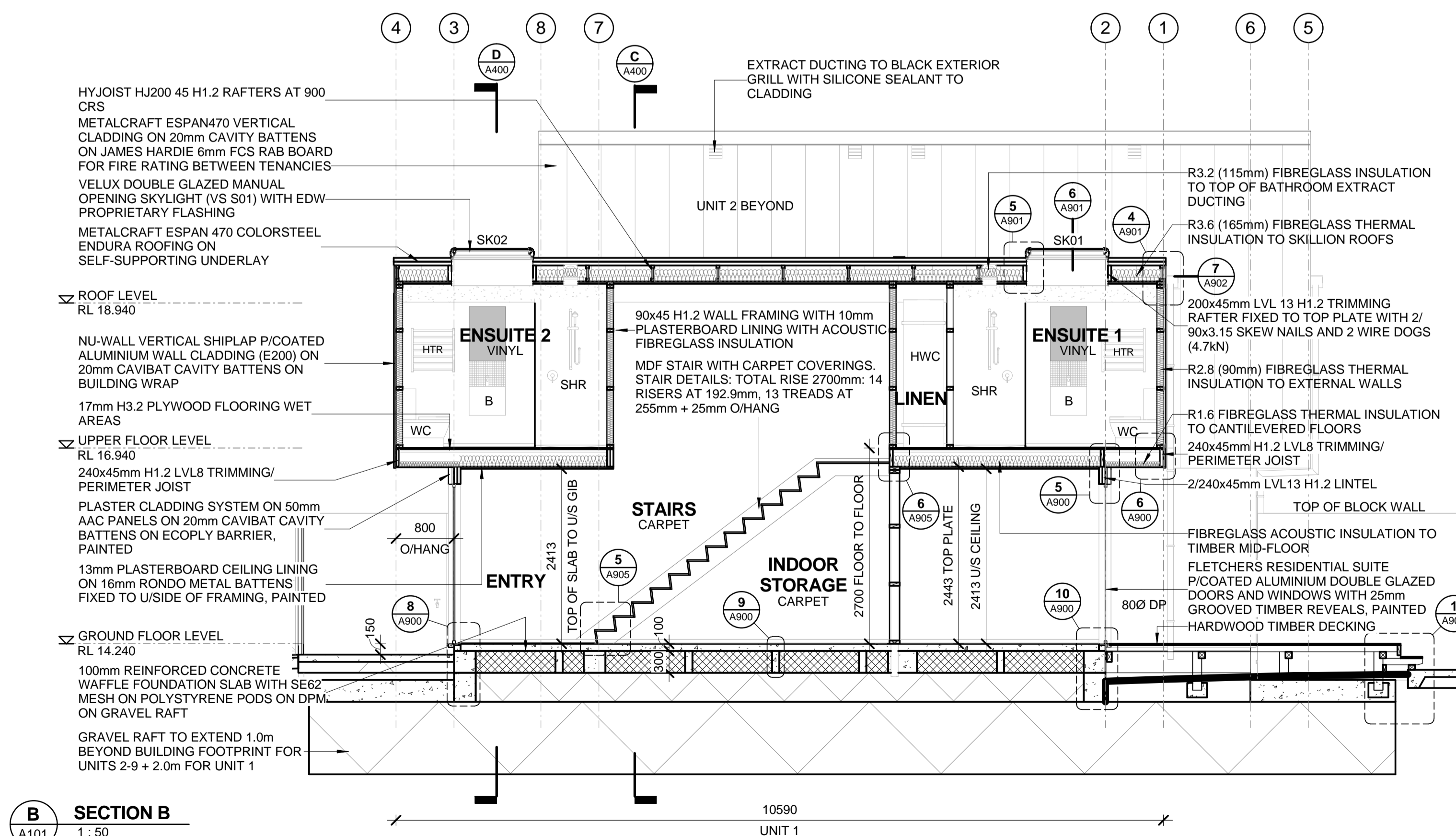
DESCRIPTION	DATE	REV
CCC RFI updates, notes added, and SW detention system	3/10/16	A



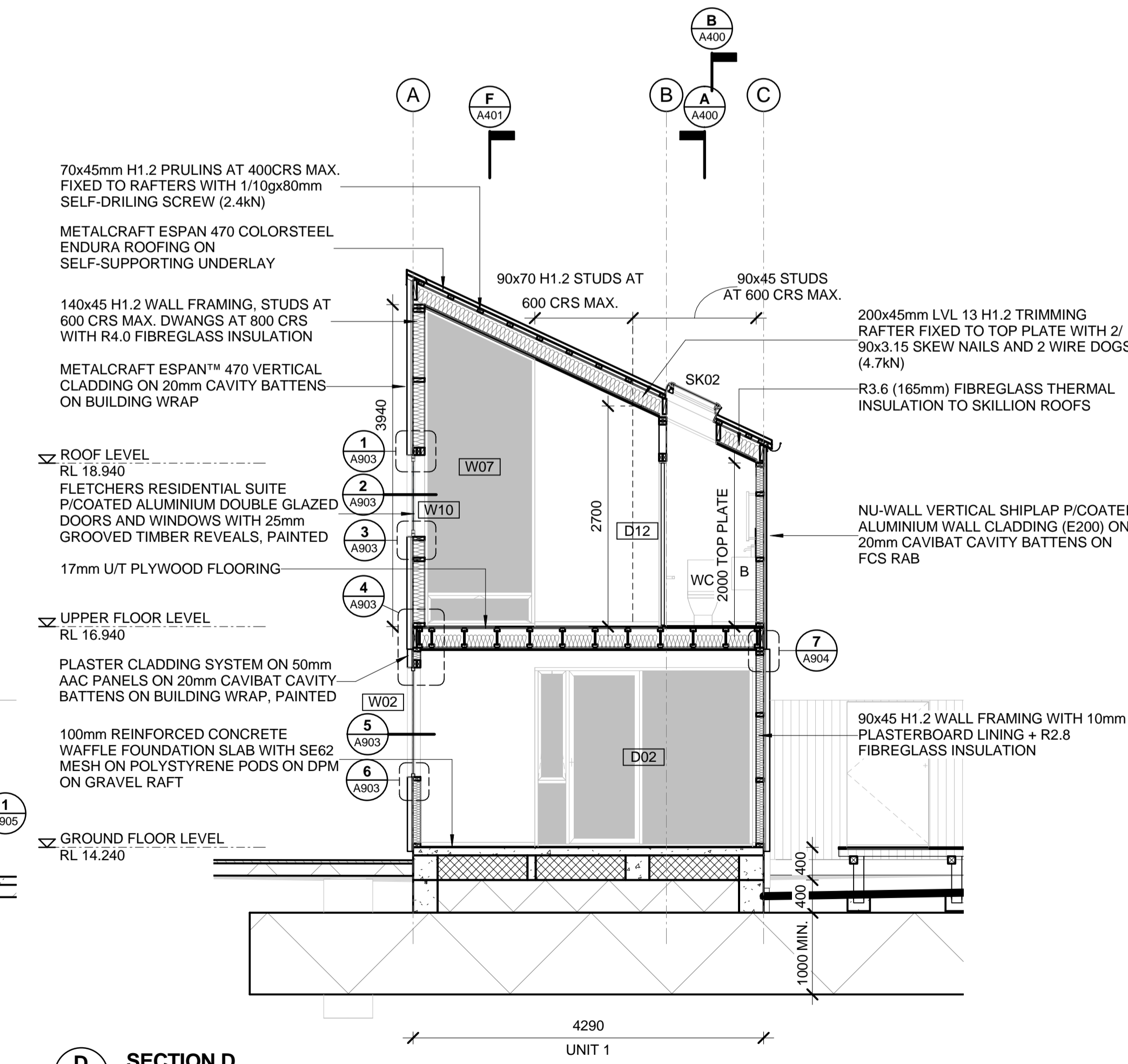
A SECTION A
A101 1:50



C SECTION C
A101 1:50



B SECTION B
A101 1:50



D SECTION D
A101 1:50

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PROPOSED SECTIONS

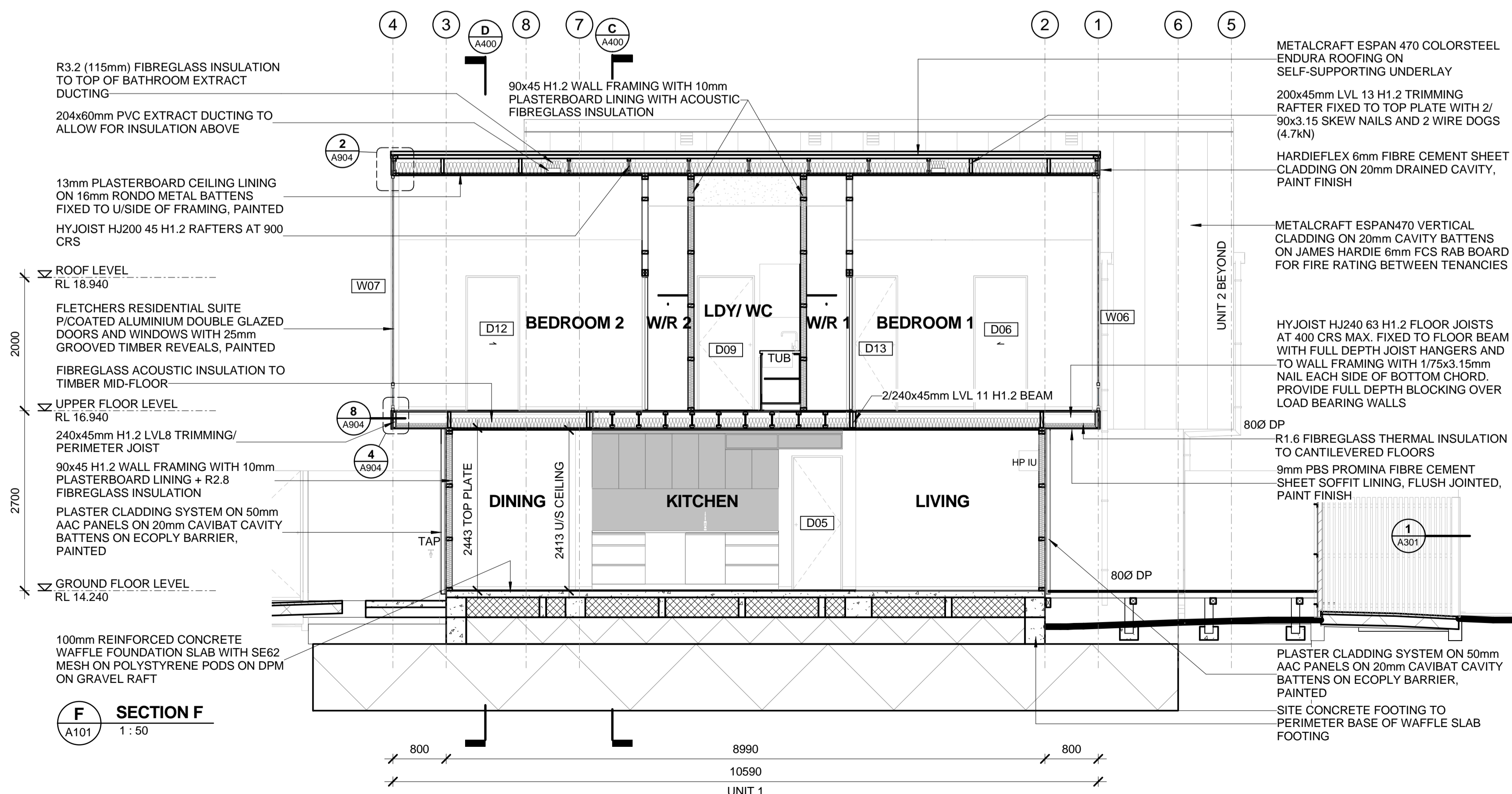
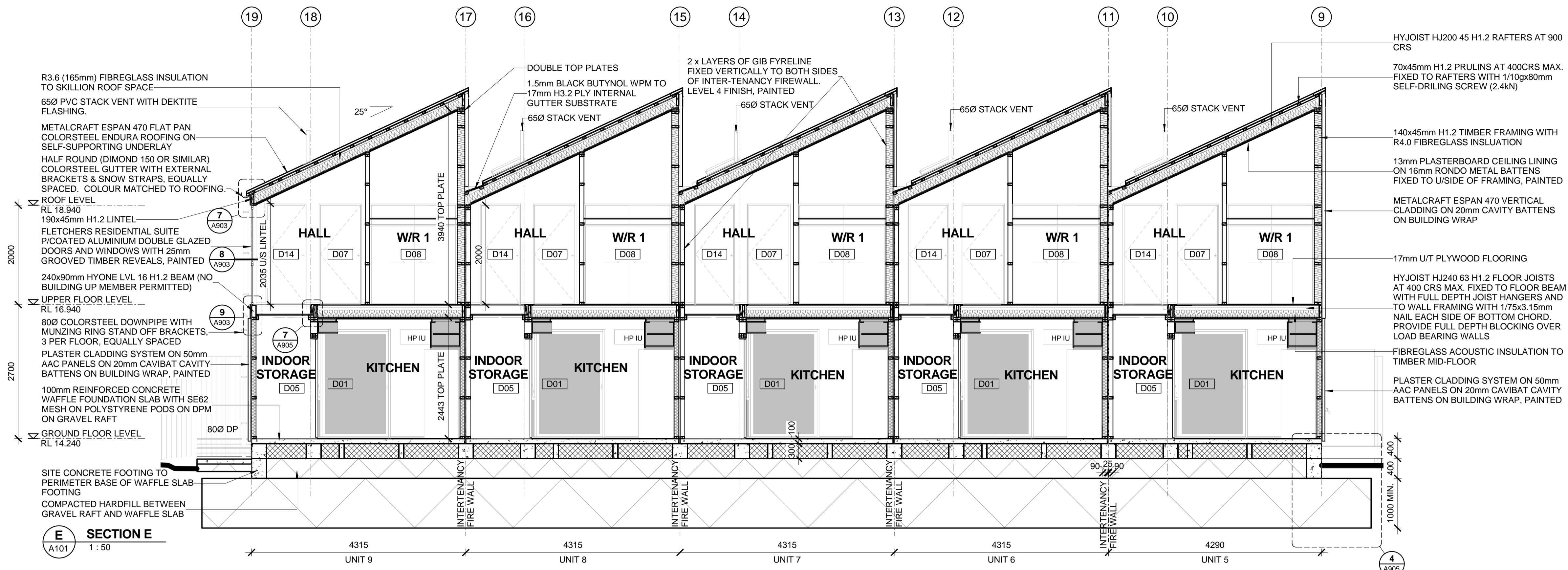
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INTERIOR DOOR SCHEDULE - UNITS 1-9						
NUMBER	ROOM	DESCRIPTION	HARDWARE	LEAF/DOOR WIDTH	LEAF HEIGHT	QUANTITY
D05	INDOOR STORAGE	HOLLOWCORE LEAF, FINGER JOINTED PINE FRAMES. PAINT FINISH		710	1980	9
D06	ENSUITE 1	CAVITY SLIDER, HOLLOWCORE LEAF, FINGER JOINTED PINE FRAMES. PAINT FINISH		760	1980	9
D07	BEDROOM 1	HOLLOWCORE LEAF, FINGER JOINTED PINE FRAMES. PAINT FINISH		810	1980	9
D08	BEDROOM 1	DOUBLE SLIDING WARDROBE DOORS, 1 MIRROR DOOR, FINGER JOINTED PINE FRAMES, PAINTED		1700	1980	9
D09	LDY/WC	HOLLOWCORE LEAF, FINGER JOINTED PINE FRAMES. PAINT FINISH		810	1980	9
D10	BEDROOM 2	HOLLOWCORE LEAF, FINGER JOINTED PINE FRAMES. PAINT FINISH		810	1980	9
D11	W/R 2	DOUBLE SLIDING WARDROBE DOORS, 1 MIRROR DOOR, FINGER JOINTED PINE FRAMES, PAINTED		1700	1980	9
D12	ENSUITE 2	CAVITY SLIDER, HOLLOWCORE LEAF, FINGER JOINTED PINE FRAMES. PAINT FINISH		760	1980	9
D13	BEDROOM 1	HOLLOWCORE LEAF, FINGER JOINTED PINE FRAMES. PAINT FINISH		610	1980	4
D14	HALL	HOLLOWCORE LEAF, FINGER JOINTED PINE FRAMES. PAINT FINISH		760	1980	5

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WINDOW & DOOR SCHEDULE - UNITS 1-9					
NUMBER	DESCRIPTION	HEIGHT	WIDTH	QUANTITY	
D01	FLETCHERS RESIDENTIAL SUITE P/COATED ALUMINIUM DOUBLE GLAZED DOORS AND WINDOWS WITH 25mm GROOVED TIMBER REVEALS, PAINTED	2200	2710	9	
D02	FLETCHERS RESIDENTIAL SUITE P/COATED ALUMINIUM DOUBLE GLAZED DOORS AND WINDOWS WITH 25mm GROOVED TIMBER REVEALS, PAINTED	2200	2665	1	
D03	FLETCHERS RESIDENTIAL SUITE P/COATED ALUMINIUM DOUBLE GLAZED DOORS AND WINDOWS WITH 25mm GROOVED TIMBER REVEALS, PAINTED	2200	2710	7	
D04	FLETCHERS RESIDENTIAL SUITE P/COATED ALUMINIUM DOUBLE GLAZED DOORS AND WINDOWS WITH 25mm GROOVED TIMBER REVEALS, PAINTED	2200	900	1	
W01	FLETCHERS RESIDENTIAL SUITE P/COATED ALUMINIUM DOUBLE GLAZED DOORS AND WINDOWS WITH 25mm GROOVED TIMBER REVEALS, PAINTED	1340	1340	2	
W02	FLETCHERS RESIDENTIAL SUITE P/COATED ALUMINIUM DOUBLE GLAZED DOORS AND WINDOWS WITH 25mm GROOVED TIMBER REVEALS, PAINTED	1340	1340	1	
W03	FLETCHERS RESIDENTIAL SUITE P/COATED ALUMINIUM DOUBLE GLAZED DOORS AND WINDOWS WITH 25mm GROOVED TIMBER REVEALS, PAINTED	1340	1340	2	
W04	FLETCHERS RESIDENTIAL SUITE P/COATED ALUMINIUM DOUBLE GLAZED DOORS AND WINDOWS WITH 25mm GROOVED TIMBER REVEALS, PAINTED	1340	1340	2	
W05	FLETCHERS RESIDENTIAL SUITE P/COATED ALUMINIUM DOUBLE GLAZED DOORS AND WINDOWS WITH 25mm GROOVED TIMBER REVEALS, PAINTED	2200	2710	1	
W06	FLETCHERS RESIDENTIAL SUITE P/COATED ALUMINIUM DOUBLE GLAZED DOORS AND WINDOWS WITH 25mm GROOVED TIMBER REVEALS, PAINTED	3905	1350	9	
W07	FLETCHERS RESIDENTIAL SUITE P/COATED ALUMINIUM DOUBLE GLAZED DOORS AND WINDOWS WITH 25mm GROOVED TIMBER REVEALS, PAINTED	3905	1350	8	
W08	FLETCHERS RESIDENTIAL SUITE P/COATED ALUMINIUM DOUBLE GLAZED DOORS AND WINDOWS WITH 25mm GROOVED TIMBER REVEALS, PAINTED	1000	1000	2	
W09	FLETCHERS RESIDENTIAL SUITE P/COATED ALUMINIUM DOUBLE GLAZED DOORS AND WINDOWS WITH 25mm GROOVED TIMBER REVEALS, PAINTED	1000	1000	2	
W10	FLETCHERS RESIDENTIAL SUITE P/COATED ALUMINIUM DOUBLE GLAZED DOORS AND WINDOWS WITH 25mm GROOVED TIMBER REVEALS, PAINTED	1000	1000	2	
W11	FLETCHERS RESIDENTIAL SUITE P/COATED ALUMINIUM DOUBLE GLAZED DOORS AND WINDOWS WITH 25mm GROOVED TIMBER REVEALS, PAINTED	3870	1280	1	
W12	FLETCHERS RESIDENTIAL SUITE P/COATED ALUMINIUM DOUBLE GLAZED DOORS AND WINDOWS WITH 25mm GROOVED TIMBER REVEALS, PAINTED	800	800	2	
W13	FLETCHERS RESIDENTIAL SUITE P/COATED ALUMINIUM DOUBLE GLAZED DOORS AND WINDOWS WITH 25mm GROOVED TIMBER REVEALS, PAINTED	2000	800	2	
W14	FLETCHERS RESIDENTIAL SUITE P/COATED ALUMINIUM DOUBLE GLAZED DOORS AND WINDOWS WITH 25mm GROOVED TIMBER REVEALS, PAINTED	800	800	2	

ALUMINIUM DOOR & WINDOWS

CHECK ALL DIMENSIONS ON SITE PRIOR TO MANUFACTURE.

DIMENSIONS SHOWN ARE FRAMED OPENING SIZES TYPICALLY, UNLESS NOTED OTHERWISE. (INTERIOR DOOR LEAF SIZE NOTED).

SHOP DRAWINGS

SHOP DRAWINGS OF SLOPING HEAD ALUMINIUM WINDOWS ARE TO BE PROVIDED TO THE ARCHITECT FOR APPROVAL PRIOR TO MANUFACTURE.

COLOURS

ALL ALUMINIUM FRAMES, SASHES & PANELS TO BE POWDERCOATED IN A DULUX DURALLOY COLOUR. COLOUR TBA.

HARDWARE

FLETCHERS ARIA HARDWARE TO ALL EXTERIOR DOORS AND OPENING WINDOWS.

OPENING WINDOWS TO HAVE VENTING WINDOW FASTENERS.

SAFETY STAYS INSTALLED TO WINDOW SASHES AND DOORS IN ACCORDANCE WITH NZBC F4.

ALL HARDWARE COLOUR MATCHED TO ALUMINIUM JOINERY

GLAZING

ALL GLAZING TO BE DOUBLE GLAZED UNITS, WITH CLEAR GLASS UNLESS NOTED OTHERWISE.

GLASS THICKNESS TO BE SIZED BY GLAZIER.

SAFETY GLASS IN ACCORDANCE WITH NZS4223 AND NZBC CLAUSE F2.

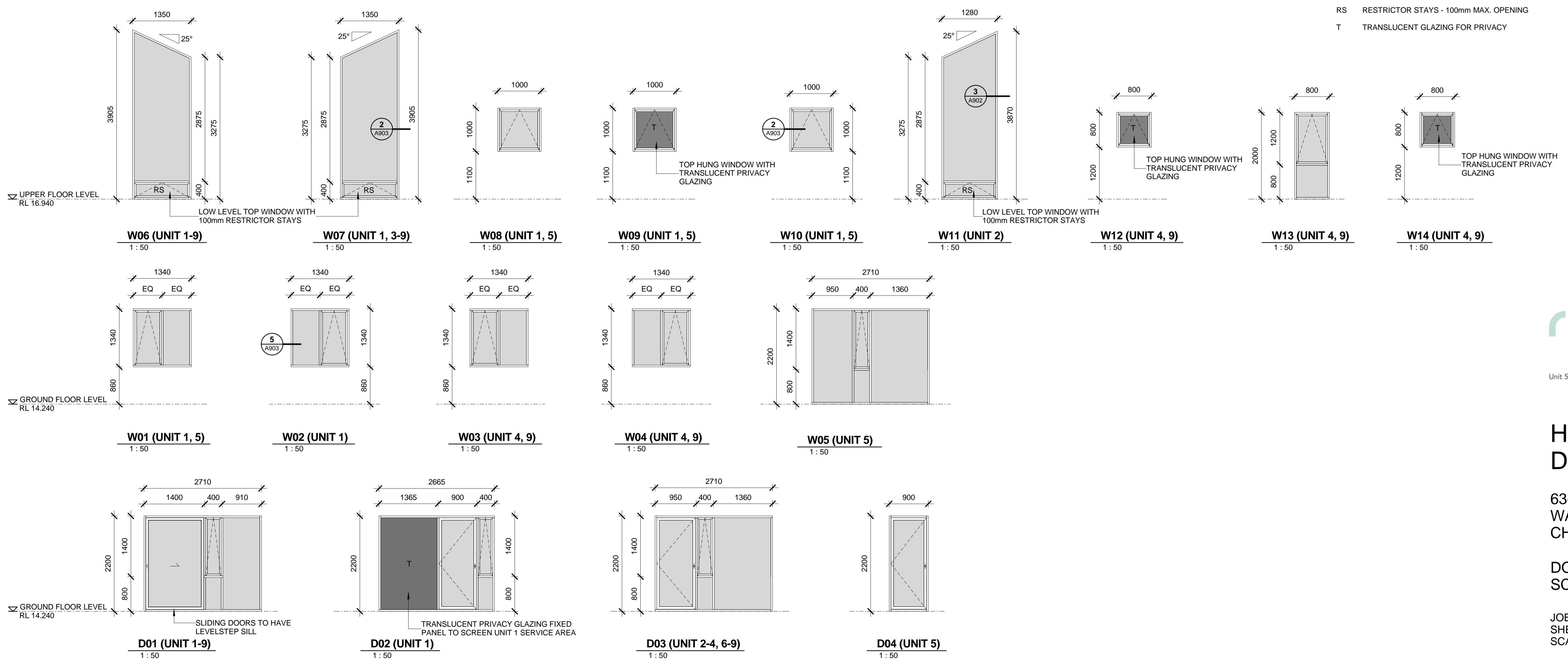
TRANSLUCENT IGU'S (TO BATHROOMS, ETC): ETCHLITE ON SURFACE 3

INTERIOR DOORS

ALL INTERIOR DOORS TO BE HOLLOW CORE LEAF WITH 32mm FINGER JOINTED PINE FRAMES REBATED FOR GIB LININGS, PAINT FINISH. SATIN CHROME HINGES & DOOR HANDLES AT 1m. HARDWARE TBA

LEGEND

- A WINDOWS OPERATED BY ELECTRIC ACTUATORS
- RS RESTRICTOR STAYS - 100mm MAX. OPENING
- T TRANSLUCENT GLAZING FOR PRIVACY



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DOOR & WINDOW SCHEDULE

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FOUNDATION NOTES

REFER TO STRUCTURAL ENGINEER'S PS1 AND SUPPORTING DOCUMENTATION FOR DETAIL OF SPECIFIC ENGINEER DESIGN SCOPE AND REQUIRED SITE INSPECTIONS.

SITE EXCAVATION TO 1200mm BELOW GROUND LEVEL OR INTO NATURAL GROUND (BELOW FILL) WHICHEVER IS GREATER. EXTENT AS SHOWN ON FOUNDATION PLAN. LOCAL DEEPING WILL BE REQUIRED WHERE FILL EXTENDS BEYOND REQUIRED MINIMUM DEPTH OF 1.2m. FORM GRAVEL RAFT WITH 150mm MAX. COMPACTED AP65 HARDFILL AND TRIAX 160 GEOTEXTILE CLOTH LAYERS.

CONCRETE FLOOR SLAB CONSTRUCTION IS A WAFFLE SLAB WITH 300mm WIDE BEAMS AND 100mm WIDE RIBS x 400mm DEEP OVERALL INTERNALLY AND 800mm AT BOUNDARY. 1100x1100x300mm POLYSTYRENE PODS ON 0.25mm POLYTHENE DPM ON HARDFILL. REFER TO DETAIL. INSTALL IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. POUR SITE CONCRETE FOOTINGS BELOW WAFFLE SLAB PERIMETER FOOTINGS WHERE REQUIRED TO LANDSCAPE AREAS. (GROUND LEVEL IS UP TO 600mm BELOW FLOOR LEVEL. WAFFLE SLAB TOTAL DEPTH IS 400mm)

THE FLOOR SLABS SHALL BE MOIST CURED WITH WATER OR PROPRIETARY MEMBRANE FOR AT LEAST 7 DAYS AFTER CASTING. DO NOT SAWCUT UNIT 1-9 FLOOR SLABS.

SPLICING OF REINFORCEMENT, WHETHER BY LAPPING, WELDING OR MECHANICAL SPLICE, SHALL BE AS SHOWN ON THE DRAWINGS OR AS SPECIFICALLY APPROVED BY THE ENGINEER. UNLESS SPECIFICALLY SHOWN OTHERWISE, BAR LAPS SHALL BE:
 D12 - 400mm
 HD12 - 800mm

CONCRETE GRADES:
 SITE CONCRETE - 17.5MPa
 GROUND FLOOR SLAB - 25MPa - SHRINKAGE CONTROLLED

CONCRETE COVER IS THE MINIMUM DISTANCE TO ANY REINFORCING STEEL, INCLUDING STIRRUPS/TIES. CONCRETE COVER AS SHOWN ON DRAWINGS OR TYPICALLY AS NOTED BELOW:
 SURFACES CAST AGAINST & EXPOSED TO EARTH - 75mm
 INTERIOR ENVIRONMENT - 35mm

CONFIRM LOCATION OF ALL EXISTING SERVICES ON SITE, INCLUDING COUNCIL STORMWATER AND WASTEWATER LATERALS.

TIMBER PALING FENCES, FENCE POSTS AND FOOTINGS HAVE GENERALLY BEEN OMITTED FROM FOUNDATION PLANS. REFER TO SITE PLAN FOR LOCATION

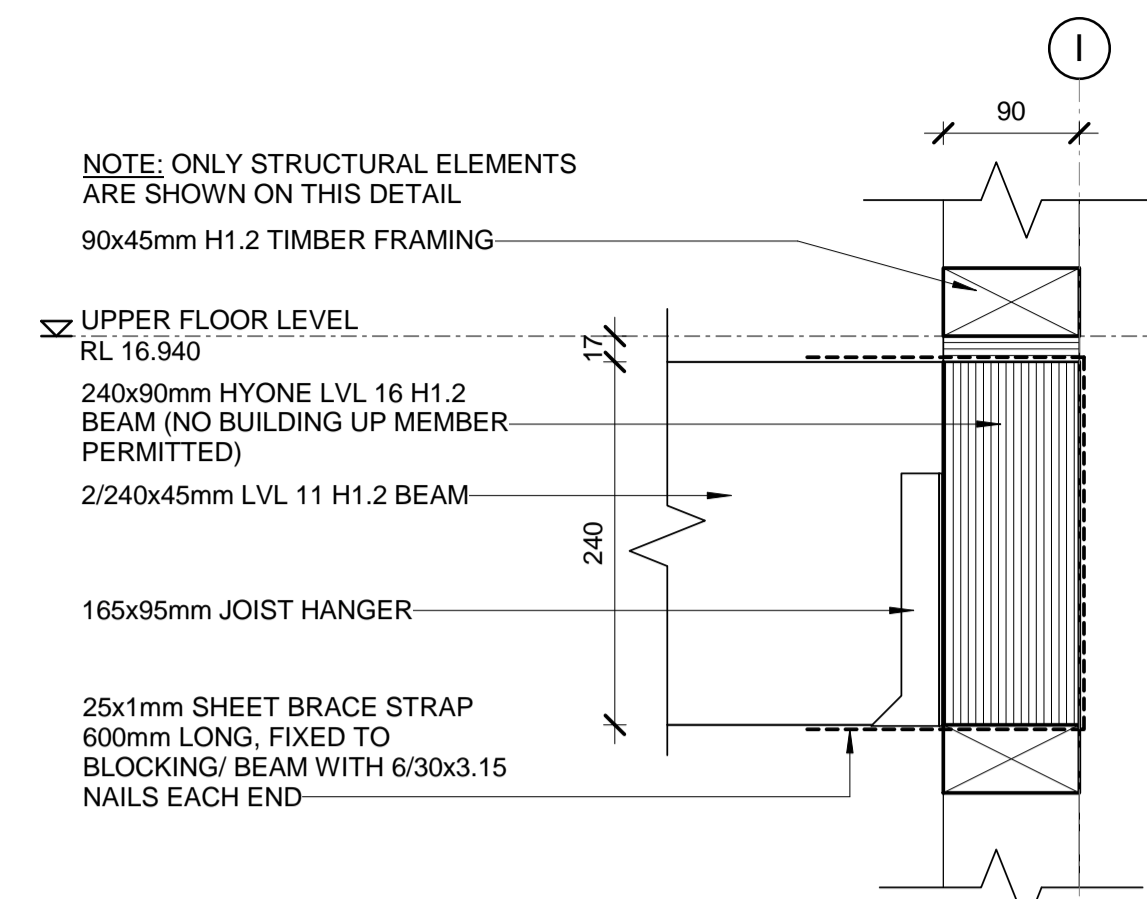
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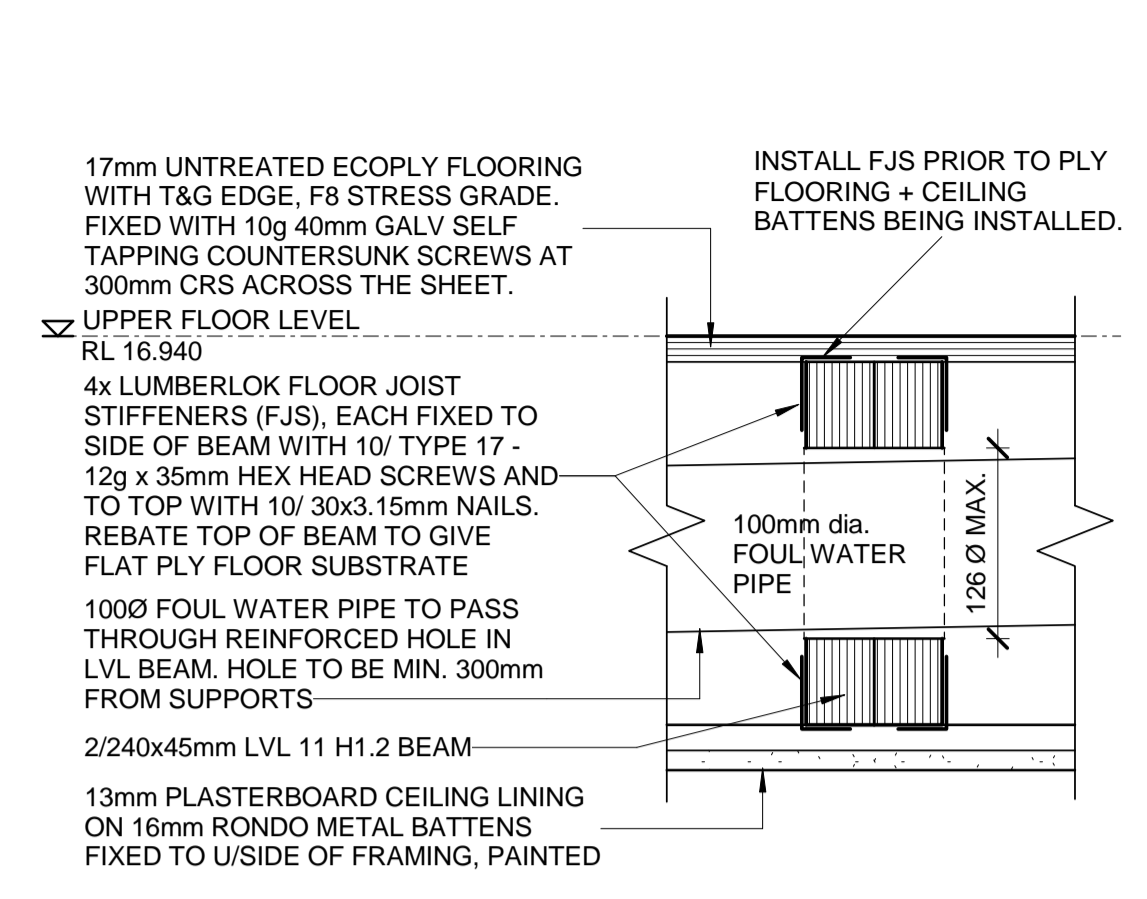
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DETAILS - FOUNDATIONS + MID-FLOOR

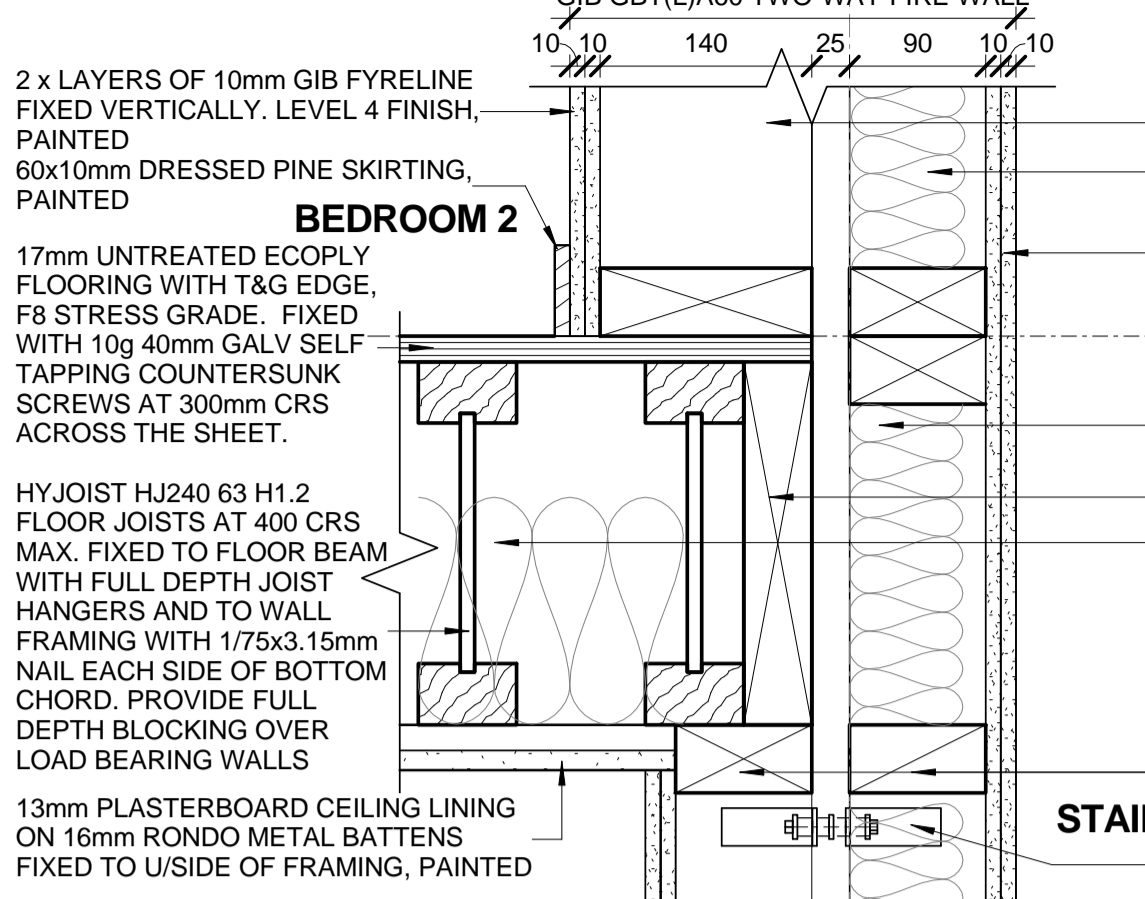
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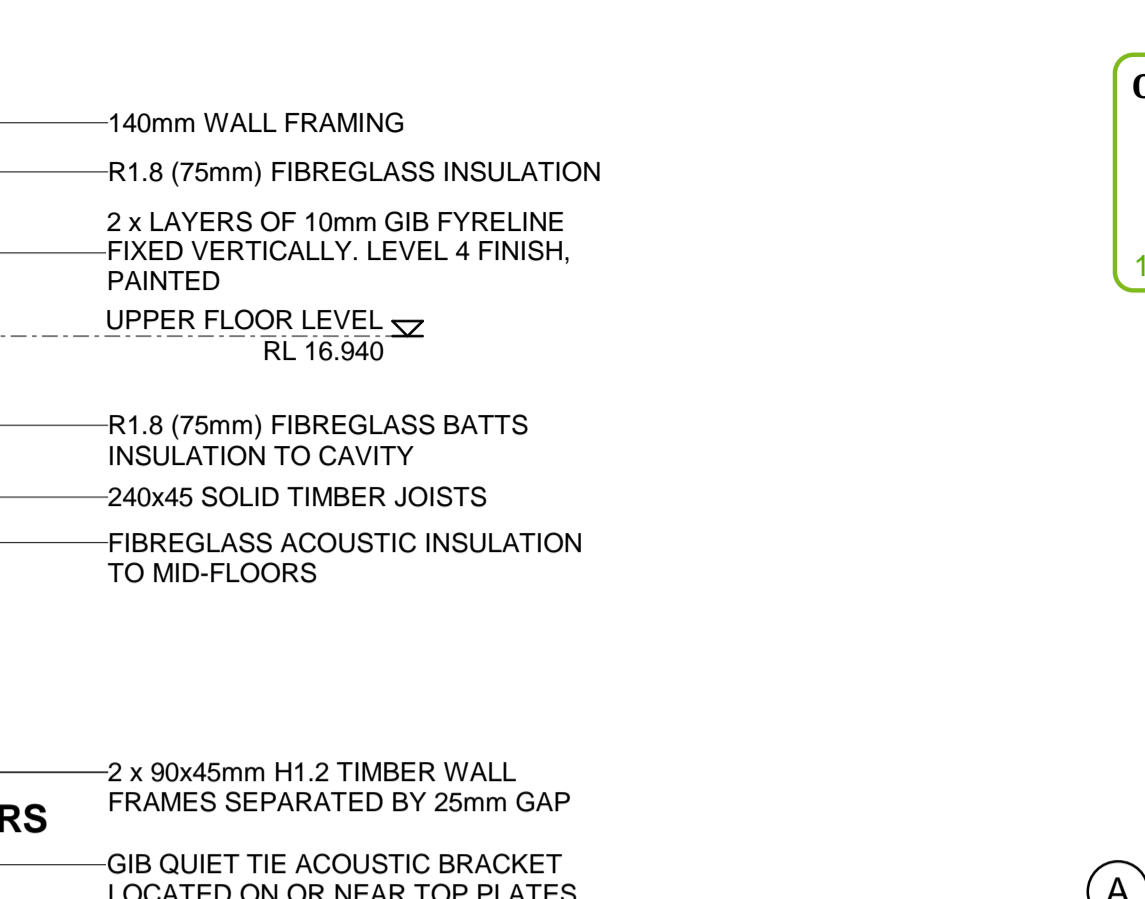
1 STAIR BEAM END CONNECTION
 A204 1:5



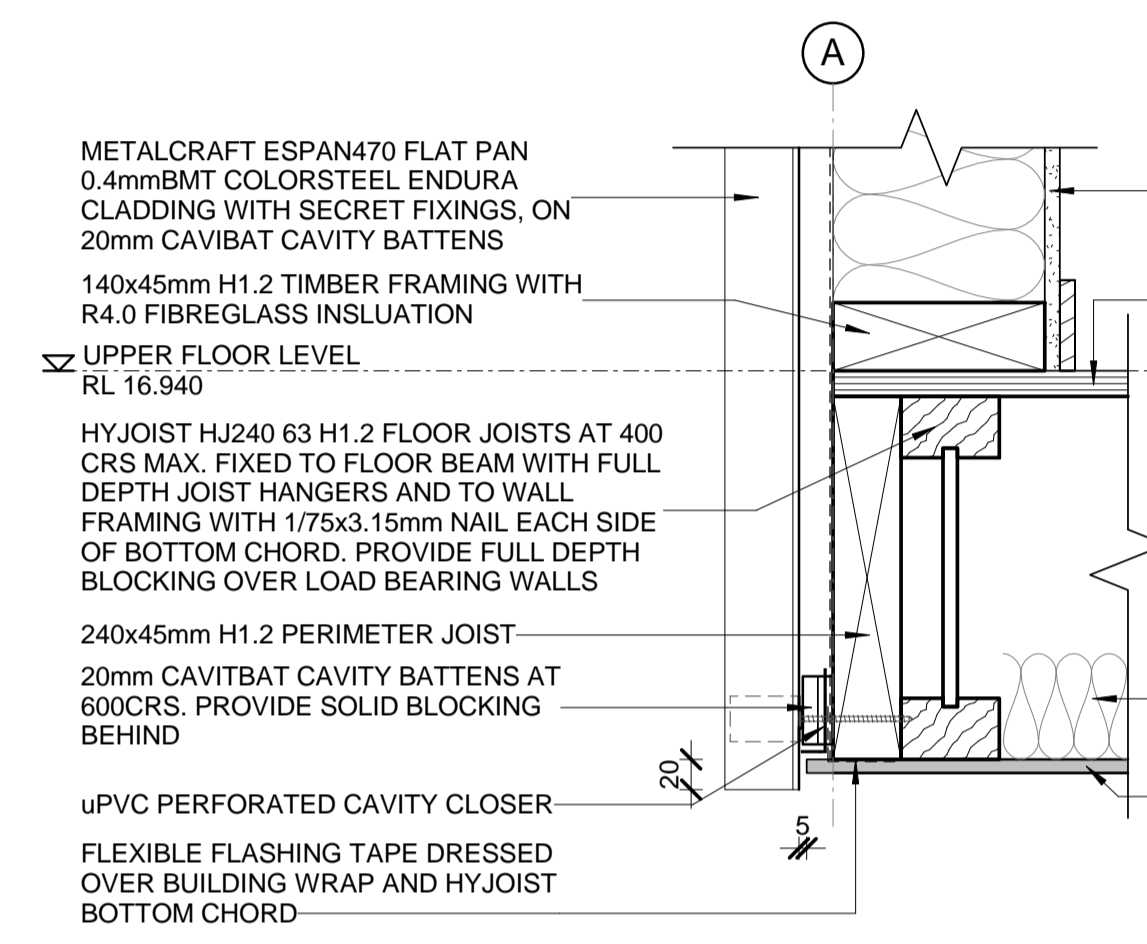
2 FLOOR BEAM STIFFENER
 A204 1:5



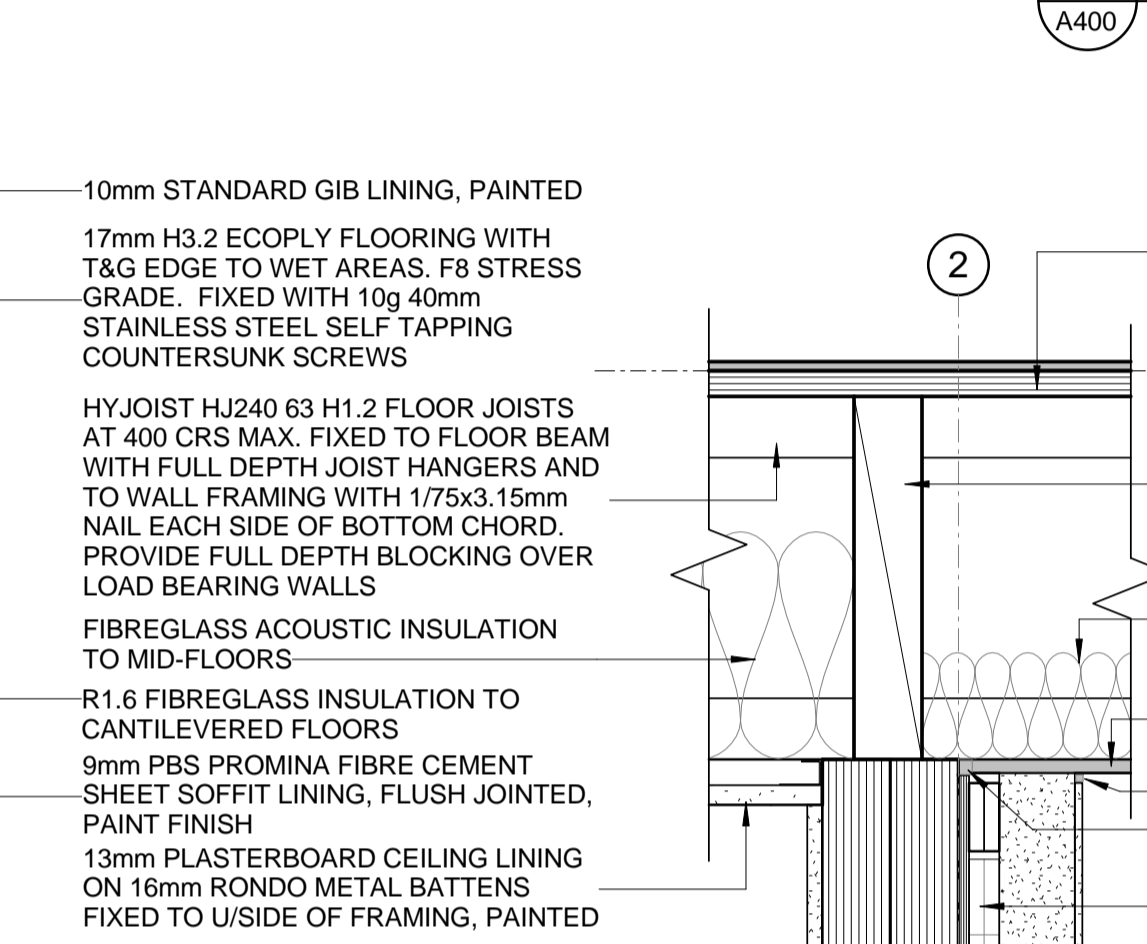
3 INTERTENANCY WALL MID-FLOOR
 A400 1:5



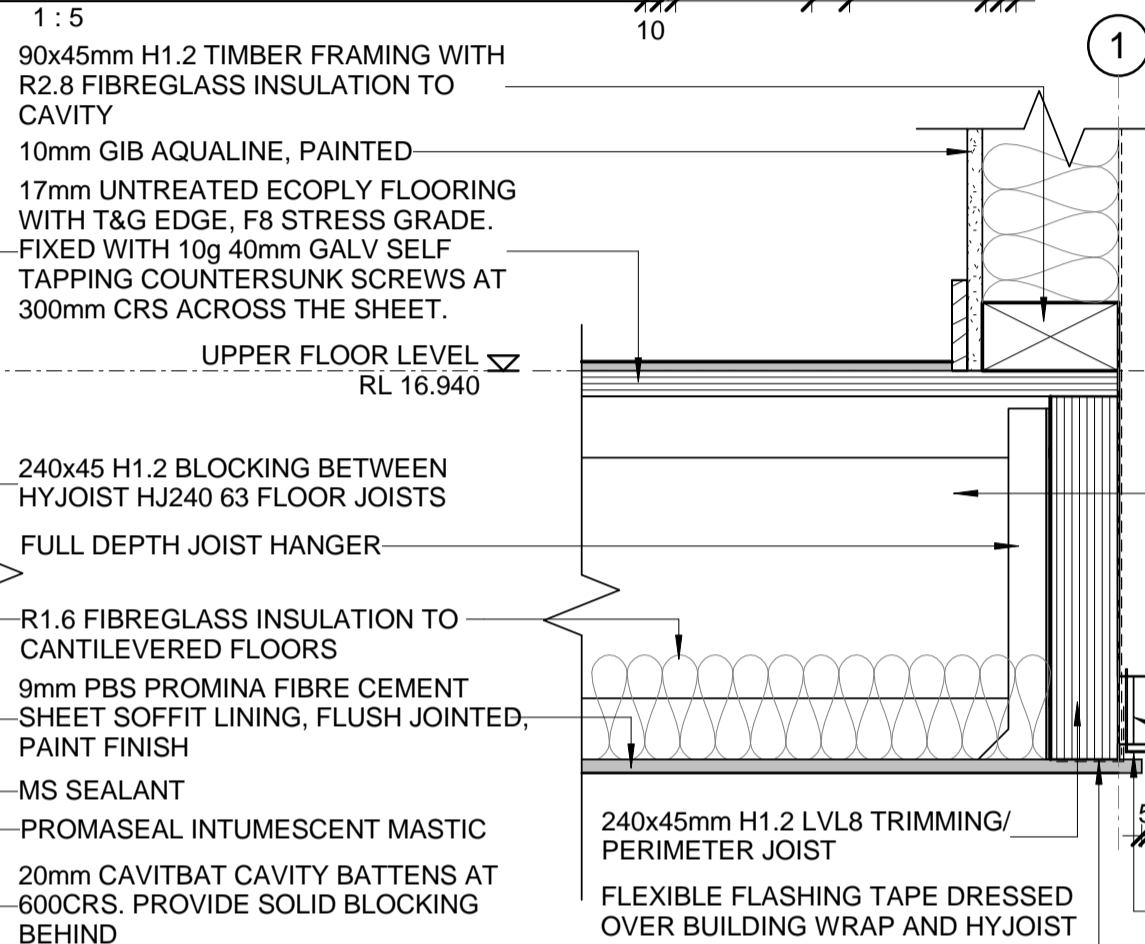
6 NU-WALL - CANTILEVER FLOOR
 A400 1:5



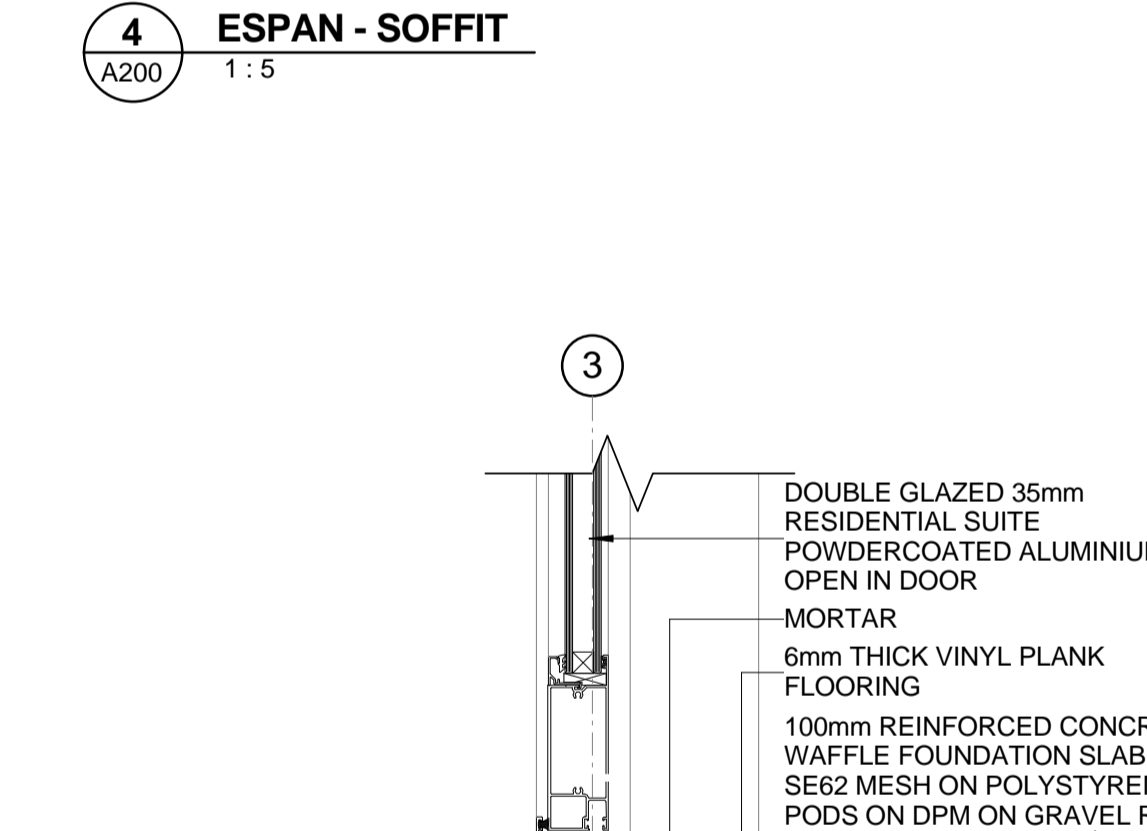
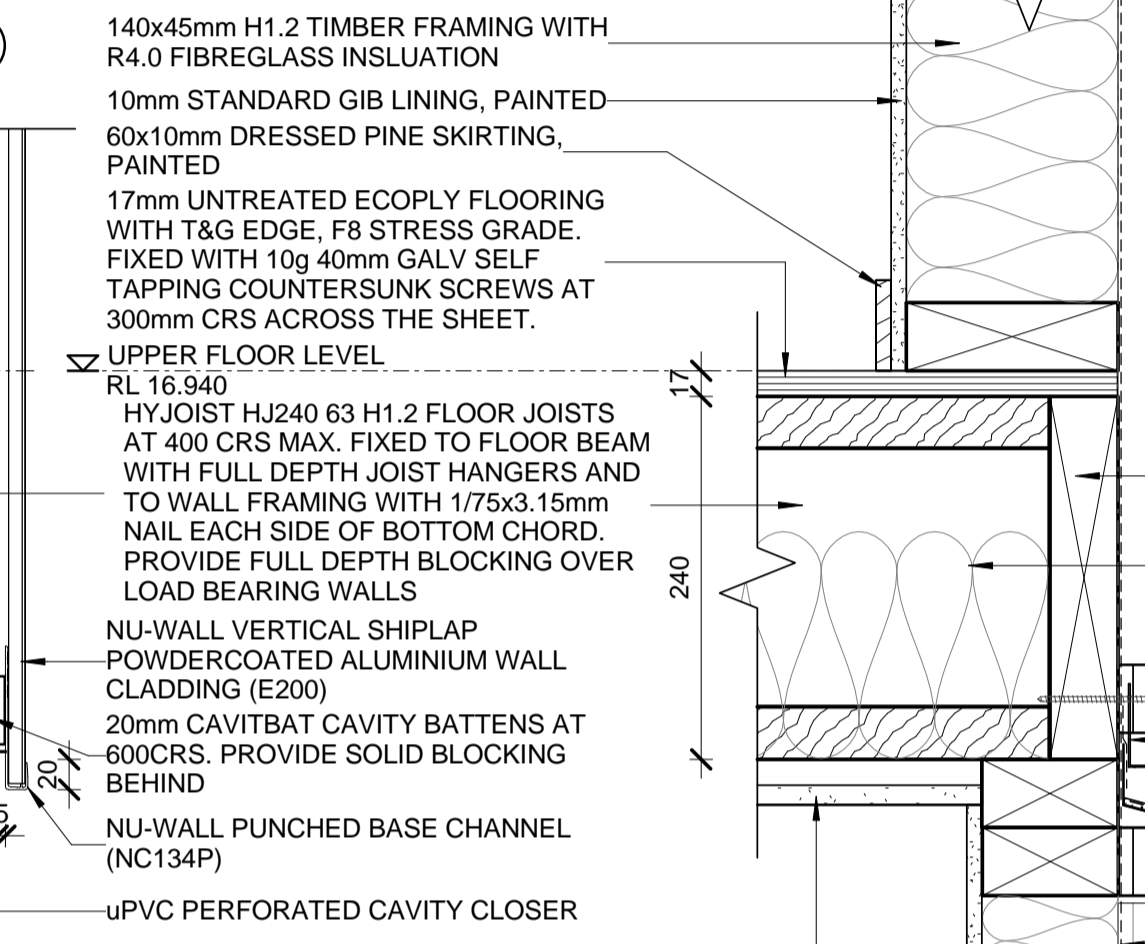
4 ESPAN - SOFFIT
 A200 1:5



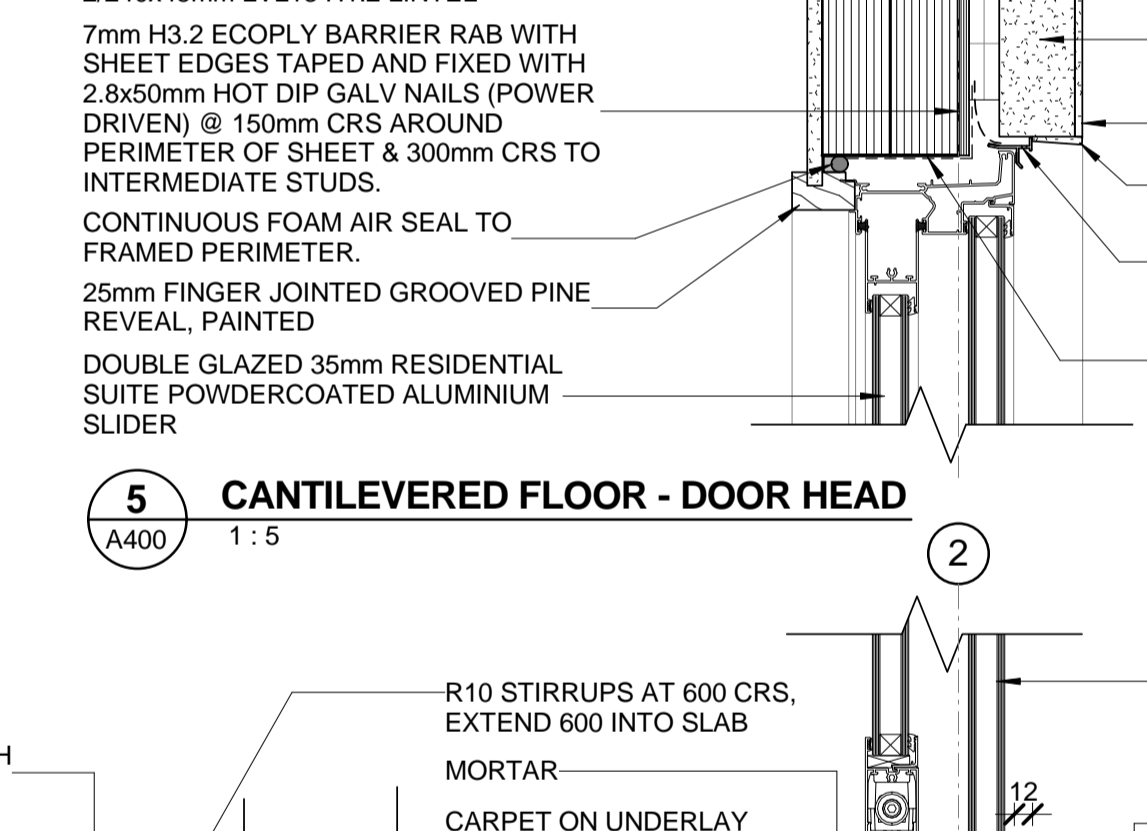
5 CANTILEVERED FLOOR - DOOR HEAD
 A400 1:5



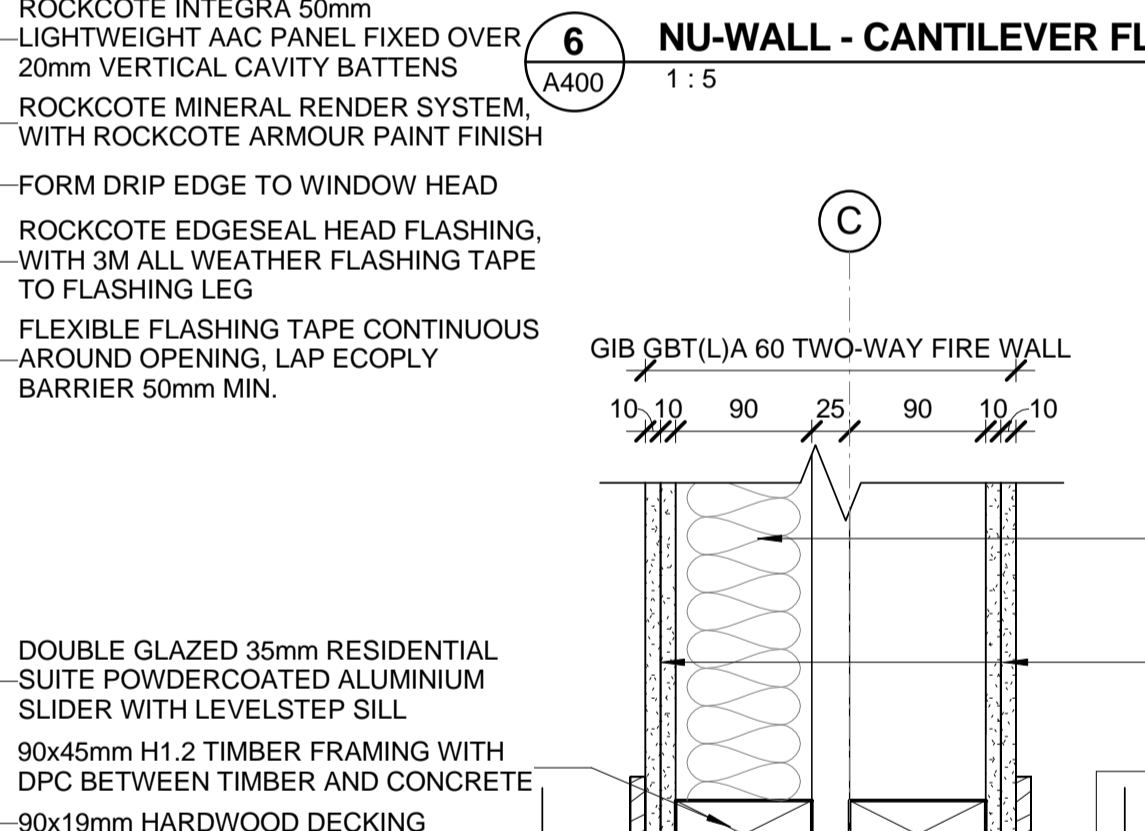
7 WALL CLADDING JUNCTION FLASHING
 A400 1:5



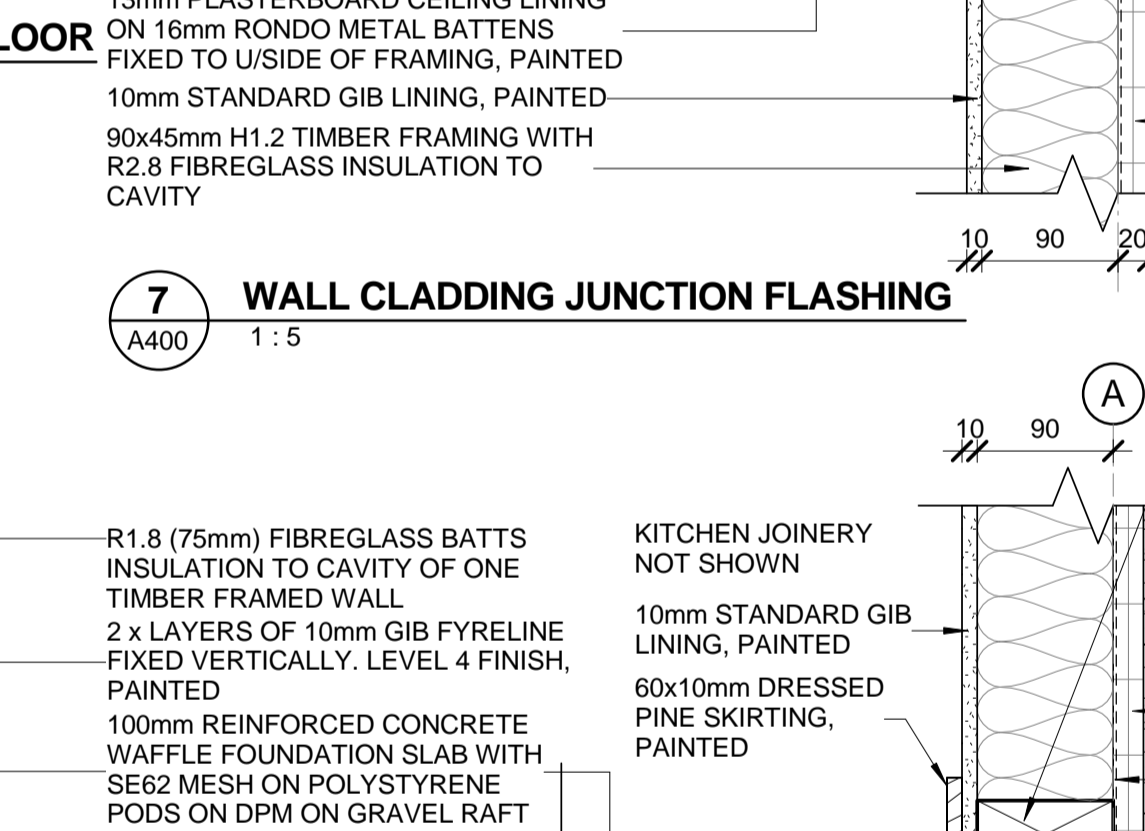
8 FOUNDATION - DOOR TO PAVING
 A400 1:5



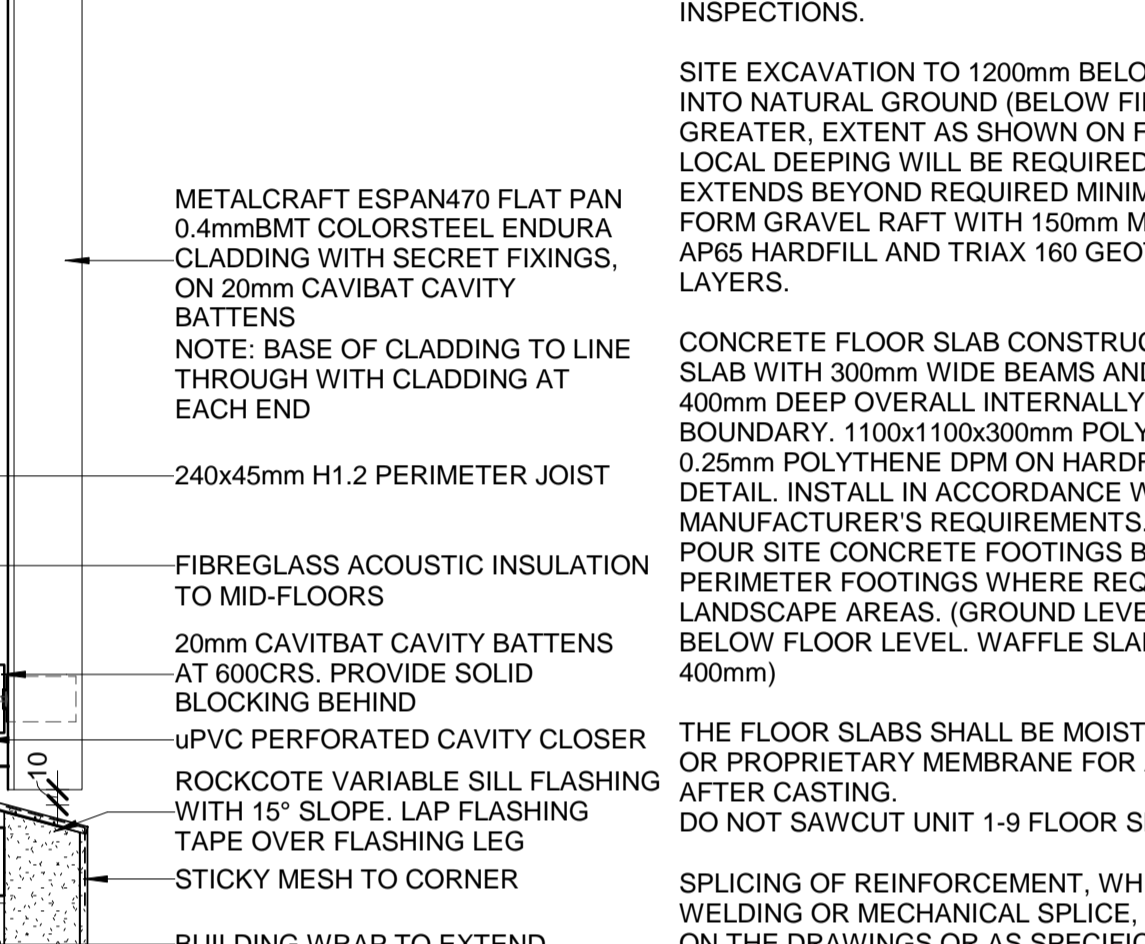
10 DOOR - SILL (SLIDER)
 A400 1:5



9 FOUNDATION - MID-RIB
 A400 1:5



11 INTERTENANCY WALL - FLOOR SLAB
 A400 1:5



12 FOUNDATION EDGE - TYPICAL
 A400 1:5

BUILDING CONSENT

A900 B

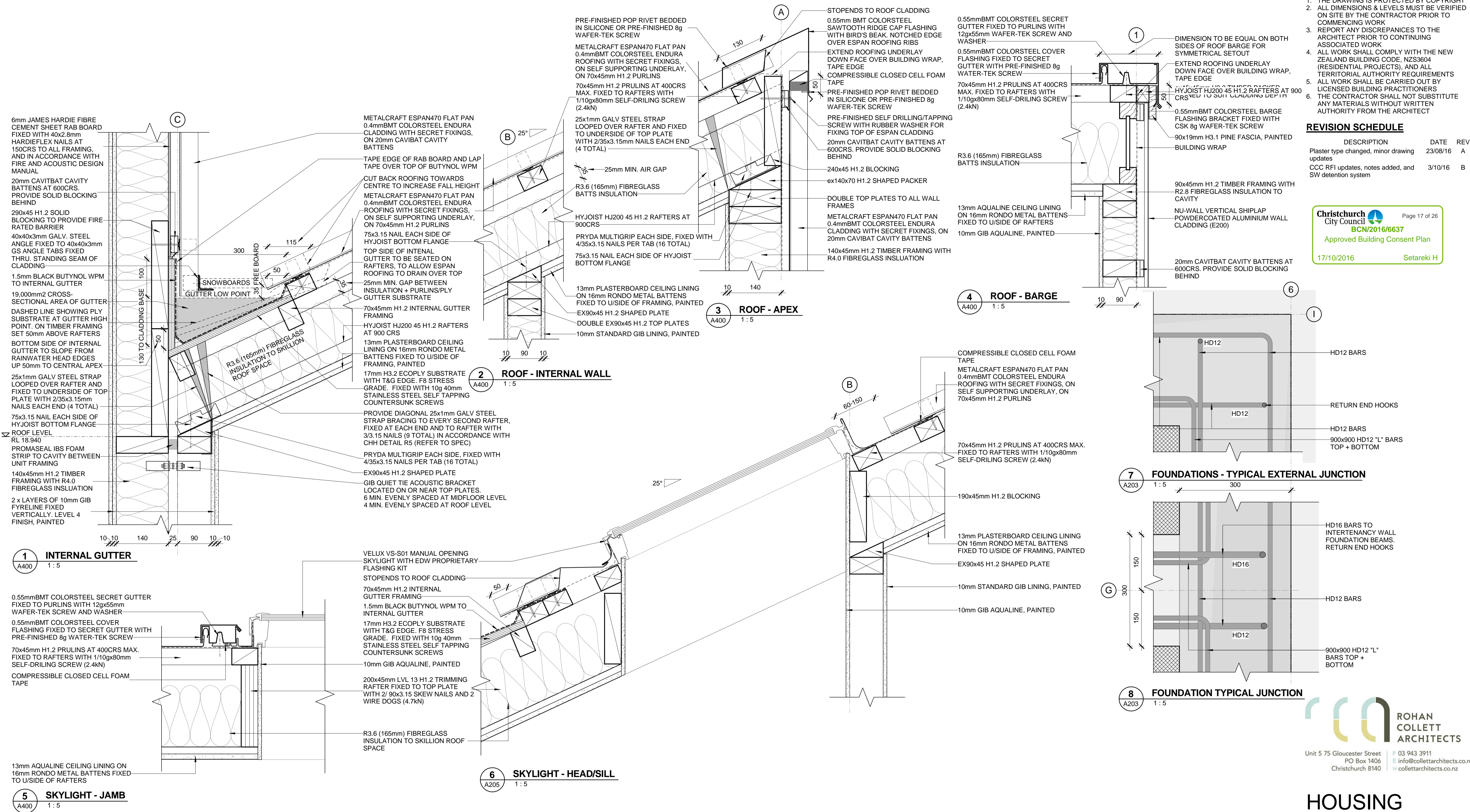
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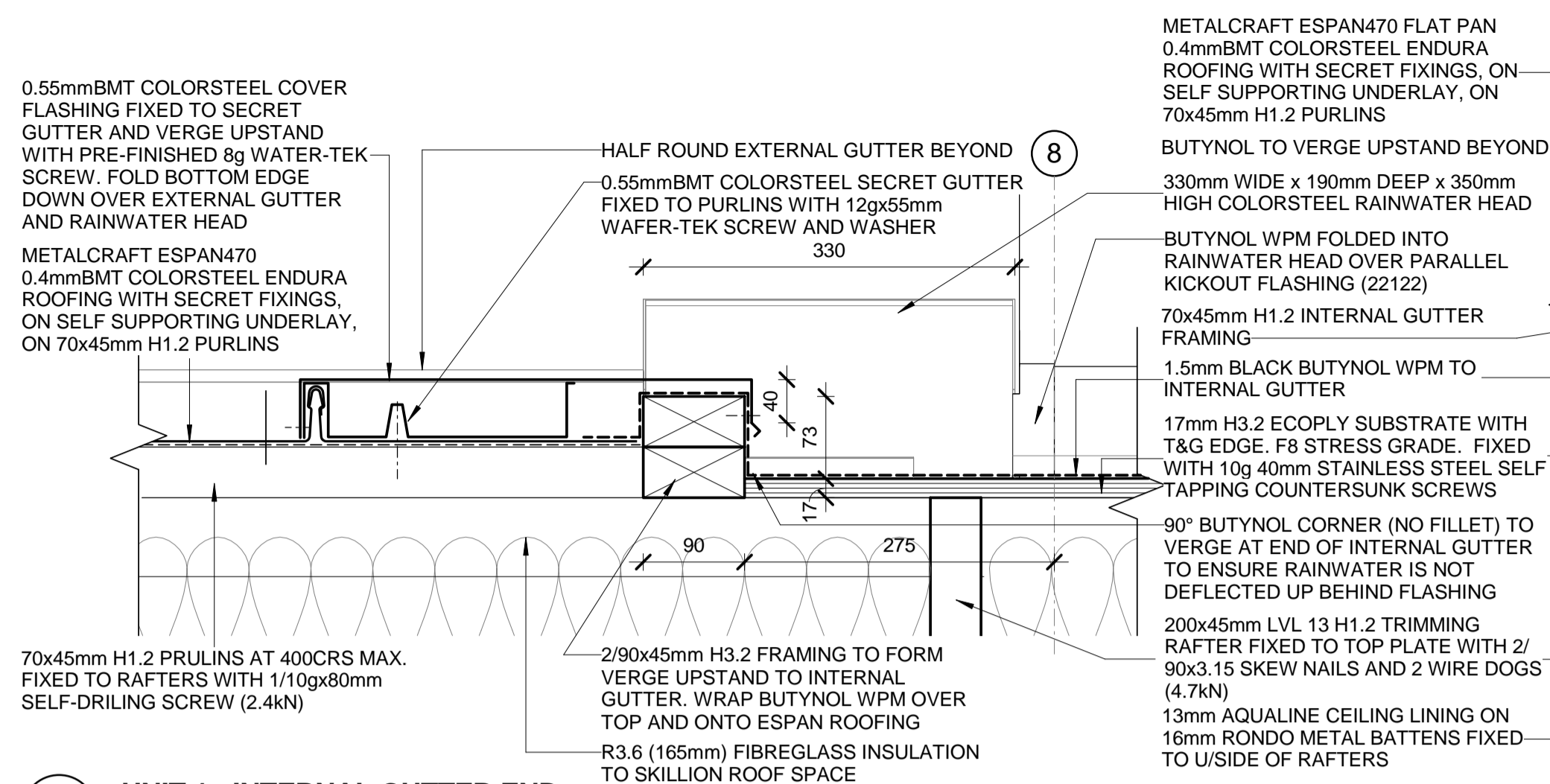
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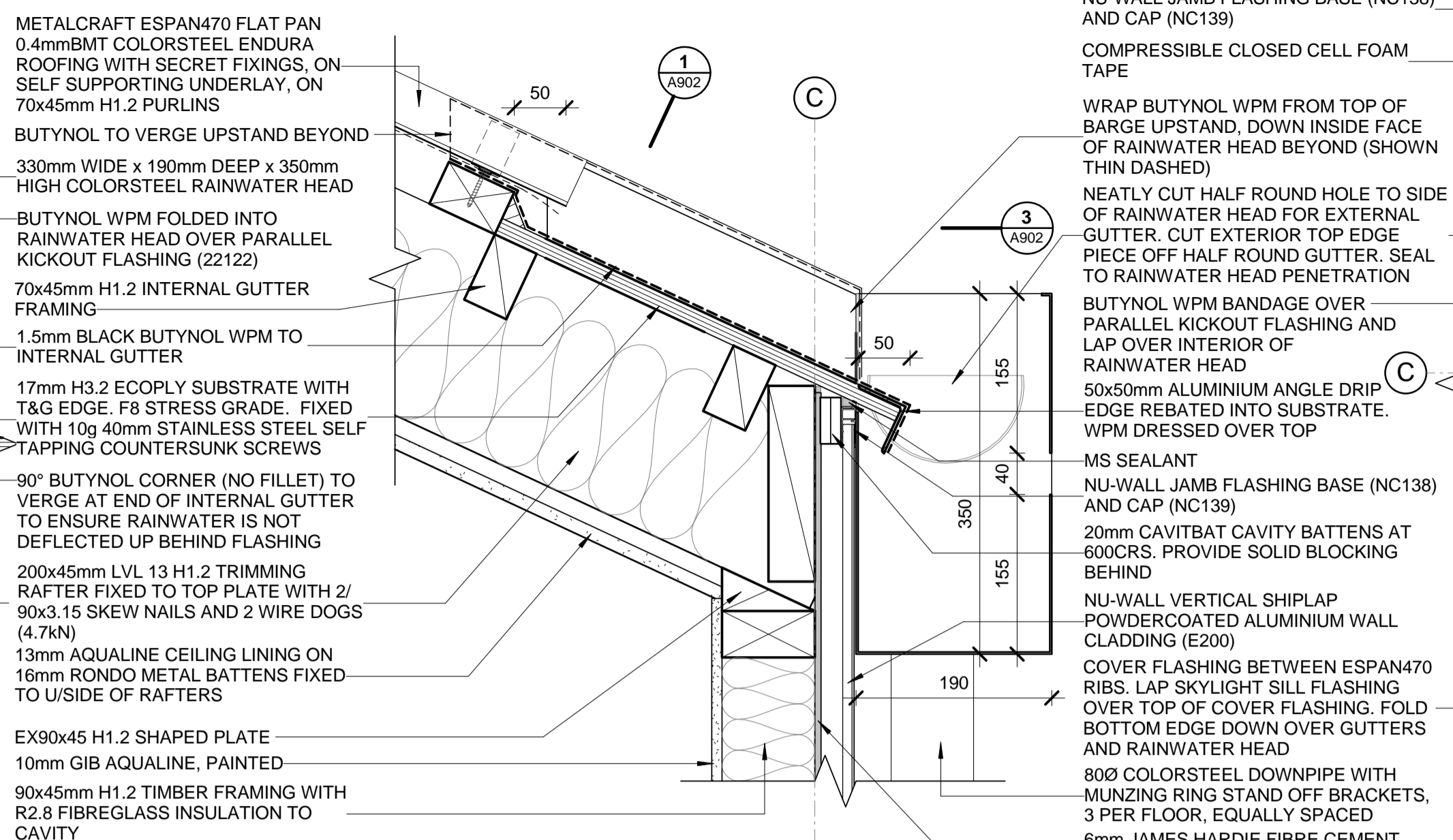
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DETAILS - ROOF

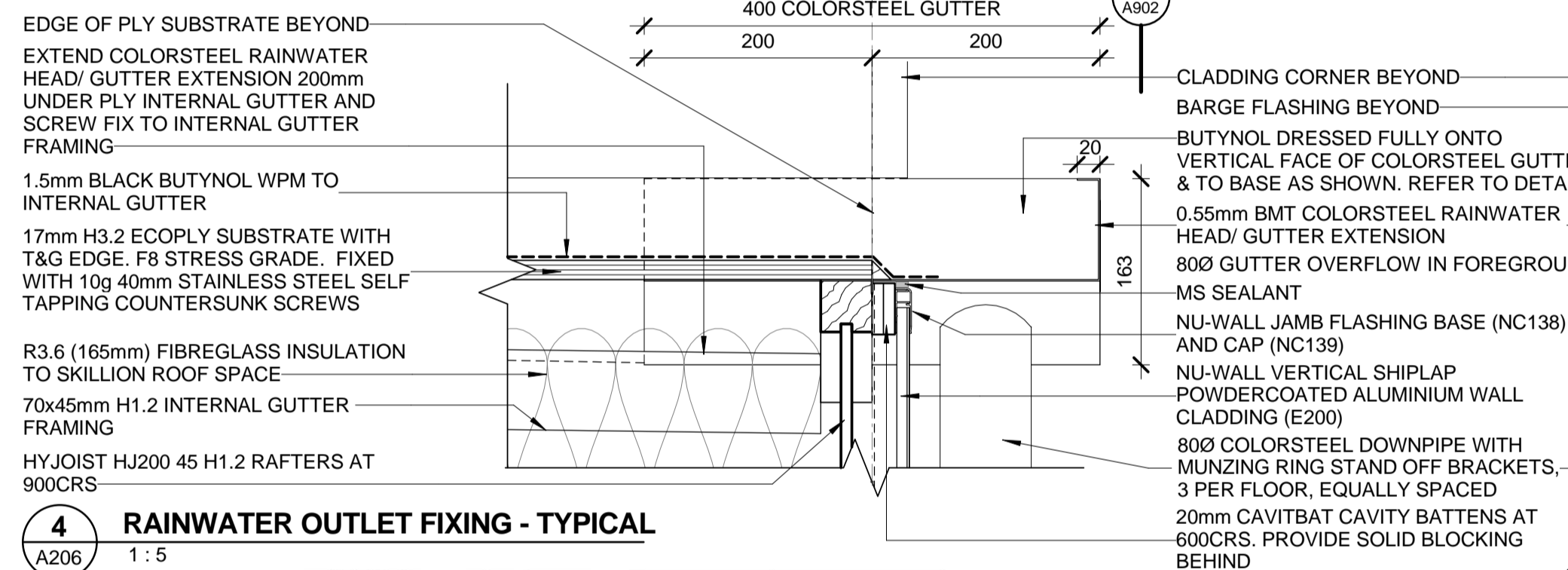
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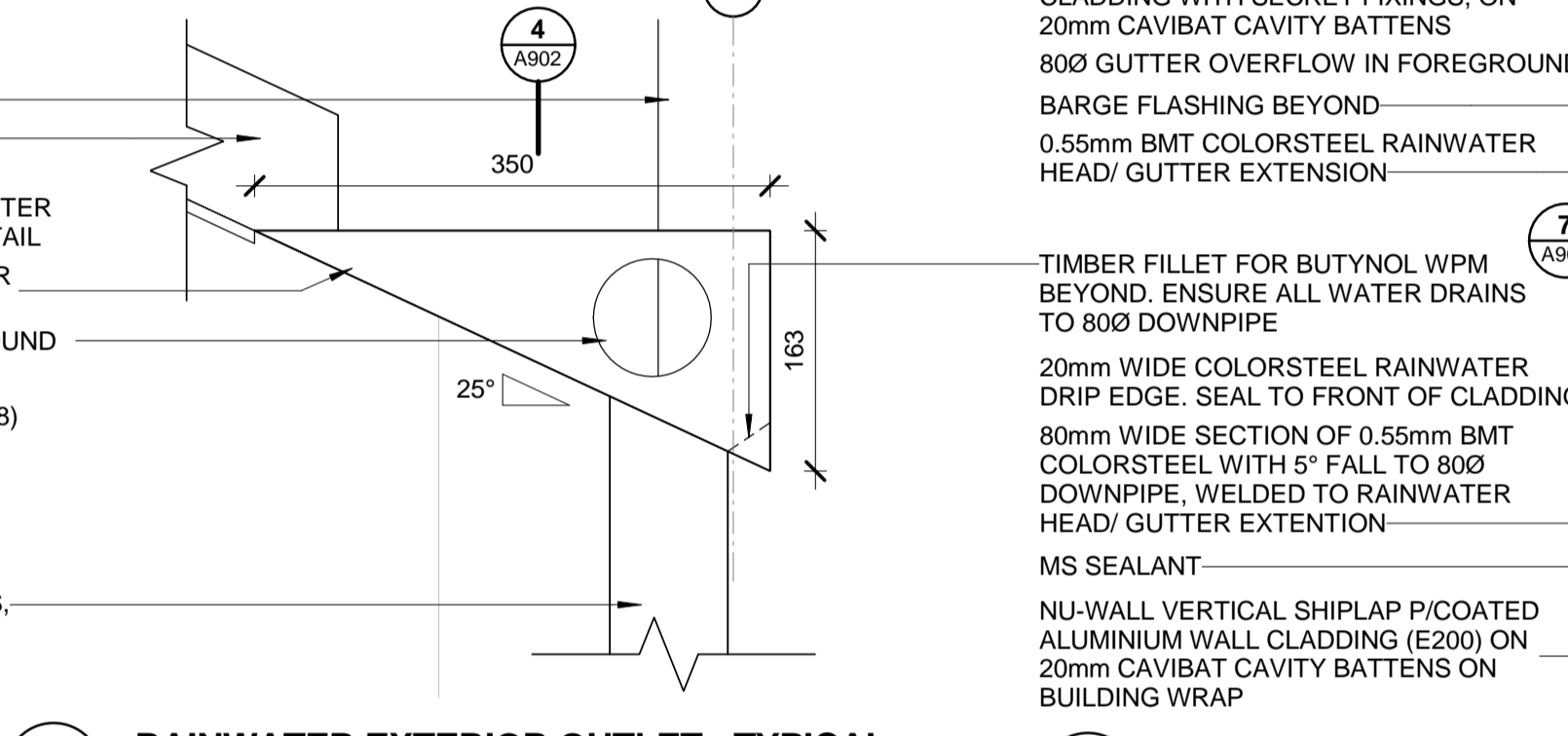
1 UNIT 1 - INTERNAL GUTTER END
1:5



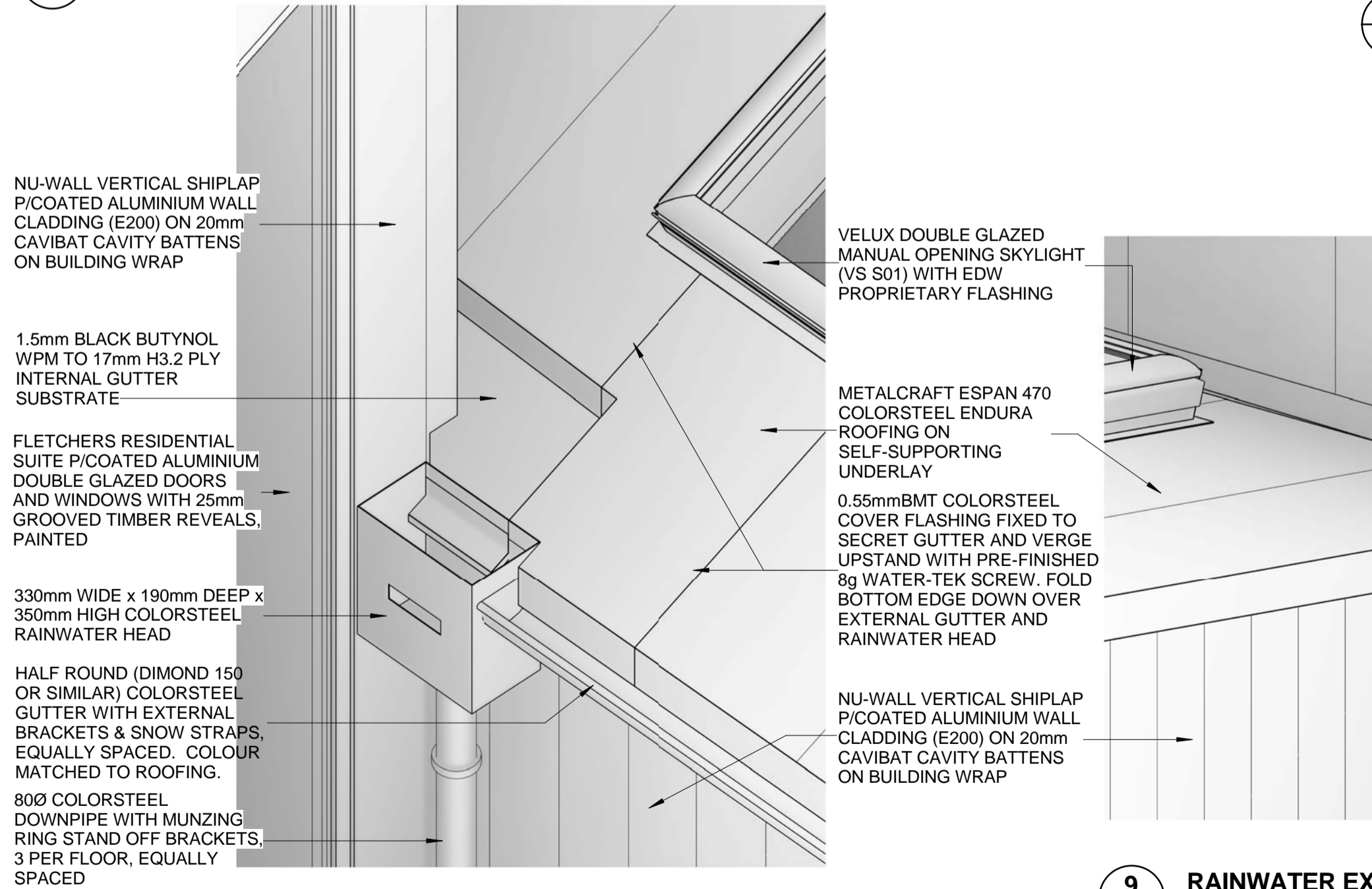
2 UNIT 1 - INTERNAL GUTTER OUTLET
1:5



4 RAINWATER OUTLET FIXING - TYPICAL
1:5

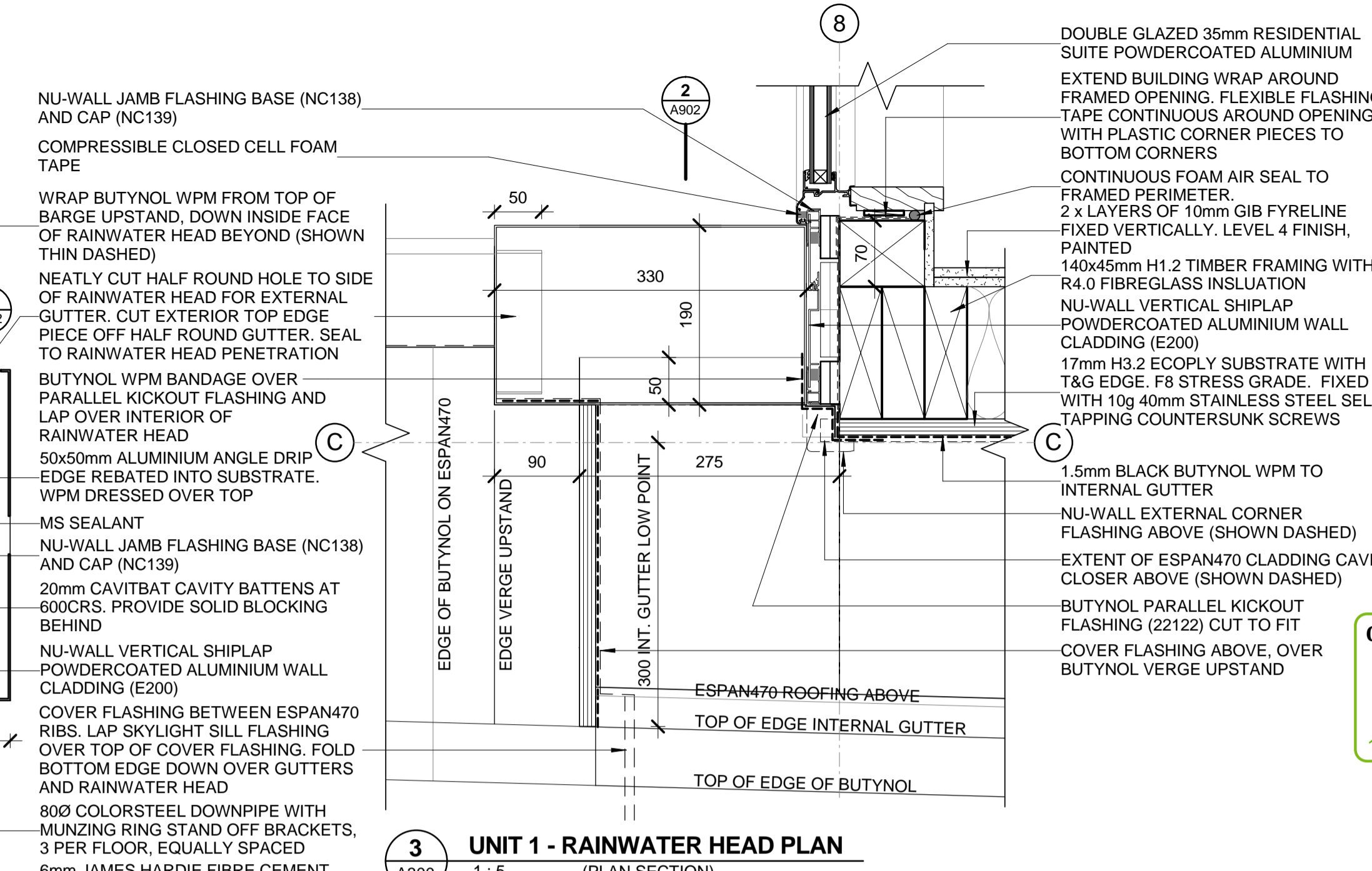


5 RAINWATER EXTERIOR OUTLET - TYPICAL
1:5

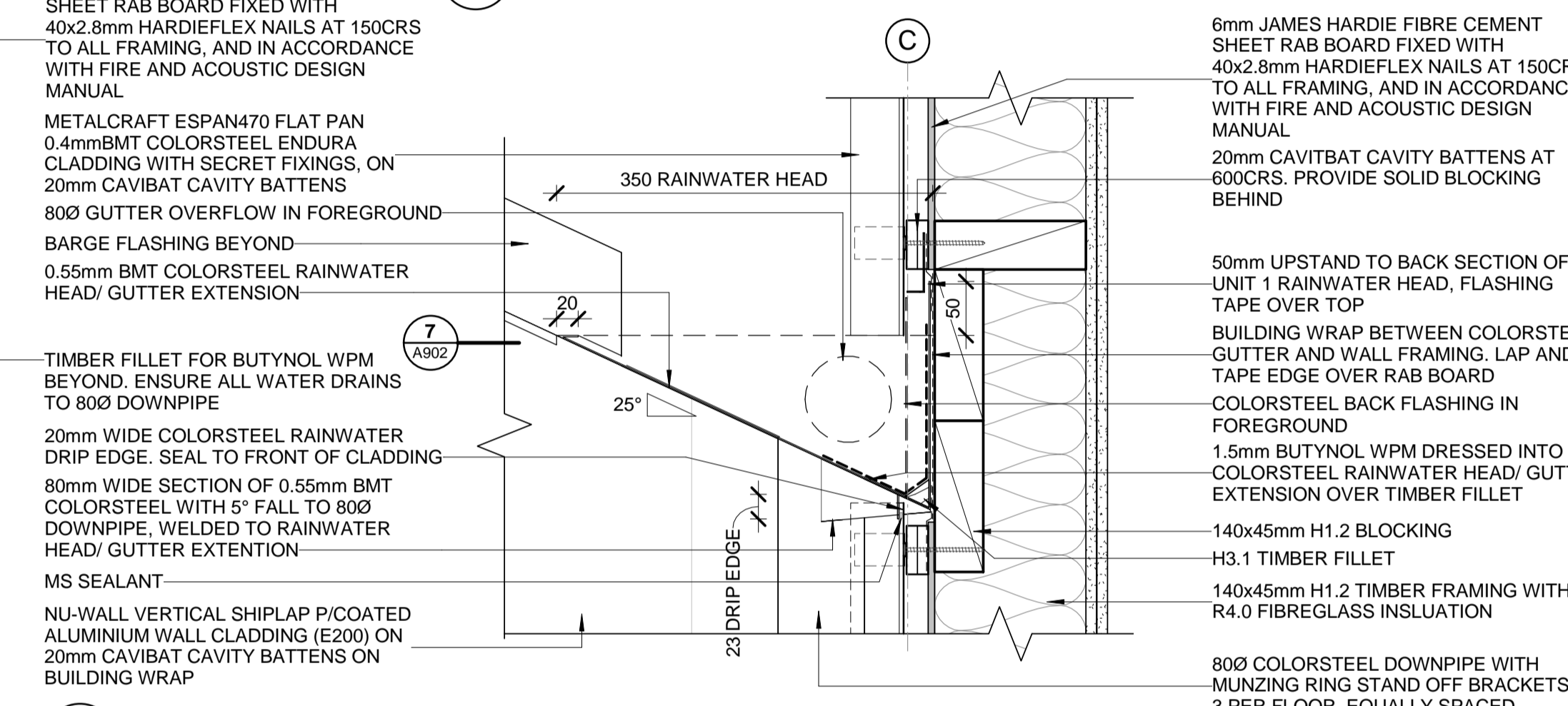


8 UNIT 1 - RAINWATER HEAD SCHEMATIC
SCHEMATIC 3D REPRESENTATION ONLY. REFER TO PLAN AND SECTIONAL DETAILS ABOVE FOR FURTHER INFORMATION

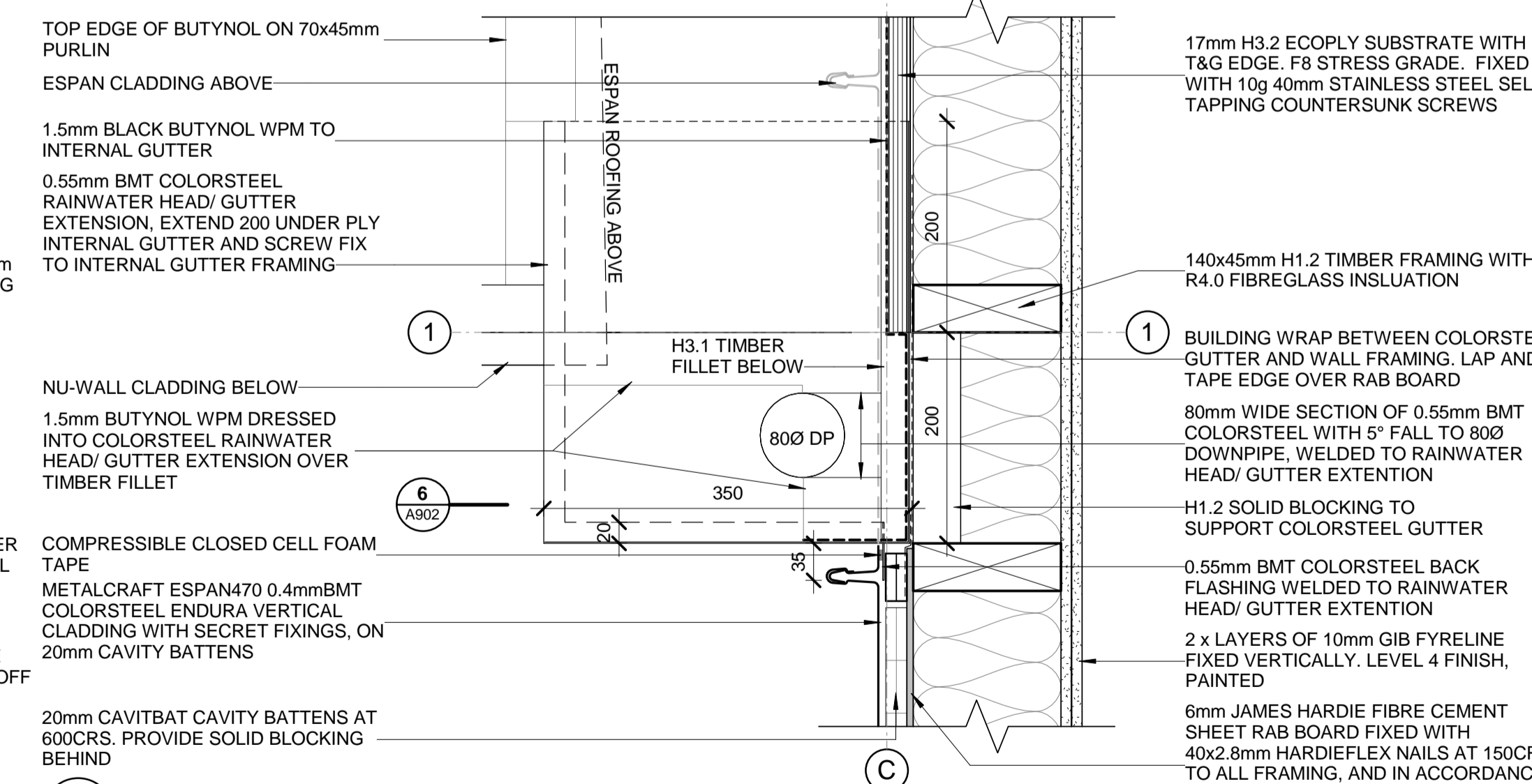
9 RAINWATER EXTERIOR OUTLET SCHEMATIC - UNIT 1
SCHEMATIC 3D REPRESENTATION ONLY. REFER TO PLAN AND SECTIONAL DETAILS ABOVE FOR FURTHER INFORMATION



3 UNIT 1 - RAINWATER HEAD PLAN
1:5 (PLAN SECTION)



6 RAINWATER EXTERIOR OUTLET - UNIT 1
1:5



7 RAINWATER OUTLET PLAN - UNIT 1
1:5 (PLAN SECTION)

GENERAL NOTES

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REVISION SCHEDULE

DESCRIPTION	DATE	REV
CCC RFI updates, notes added, and SW detention system	3/10/16	A

Christchurch City Council
Page 18 of 26
BCN/2016/6637
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HOUSING DEVELOPMENT

63+65 OSBORNE ST
WALTHAM
CHRISTCHURCH

DETAILS - RAINWATER

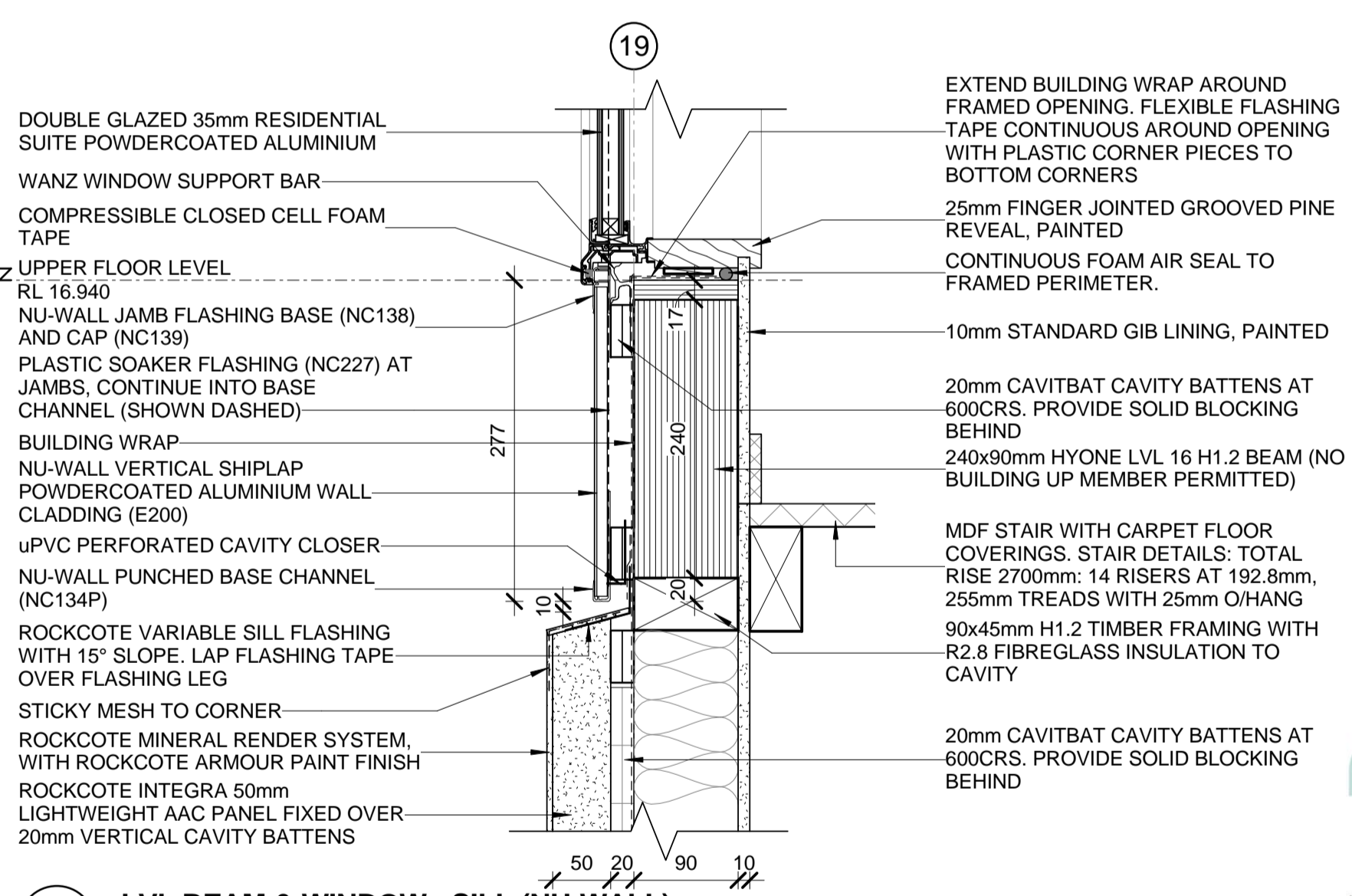
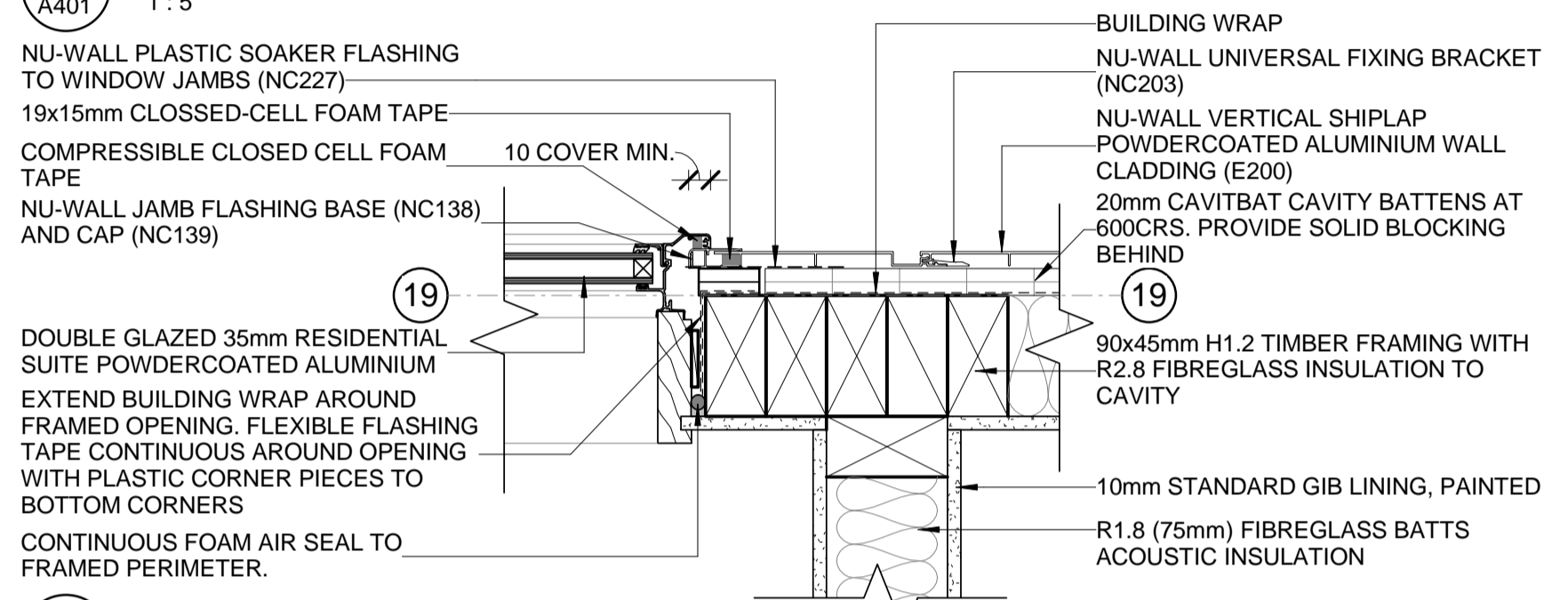
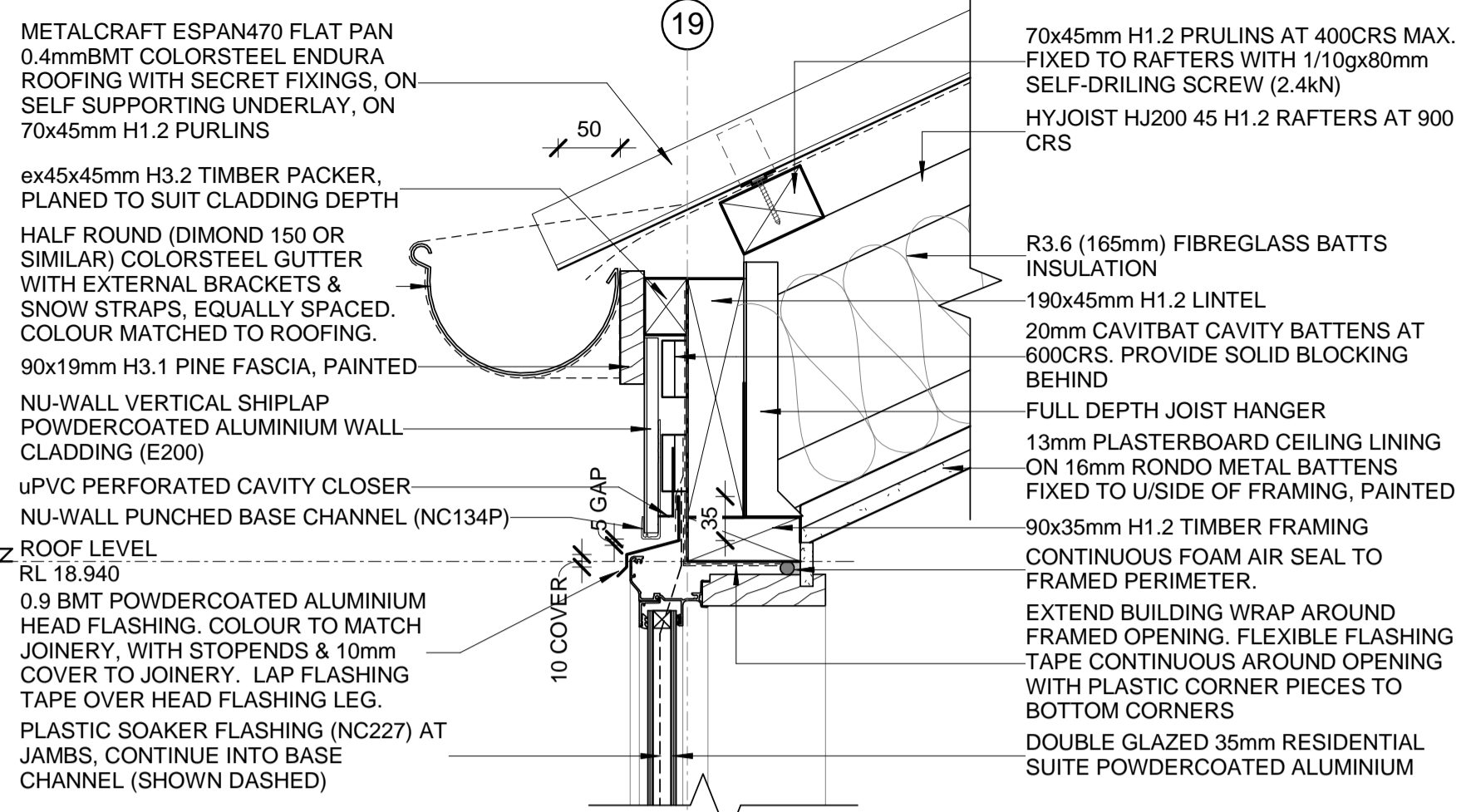
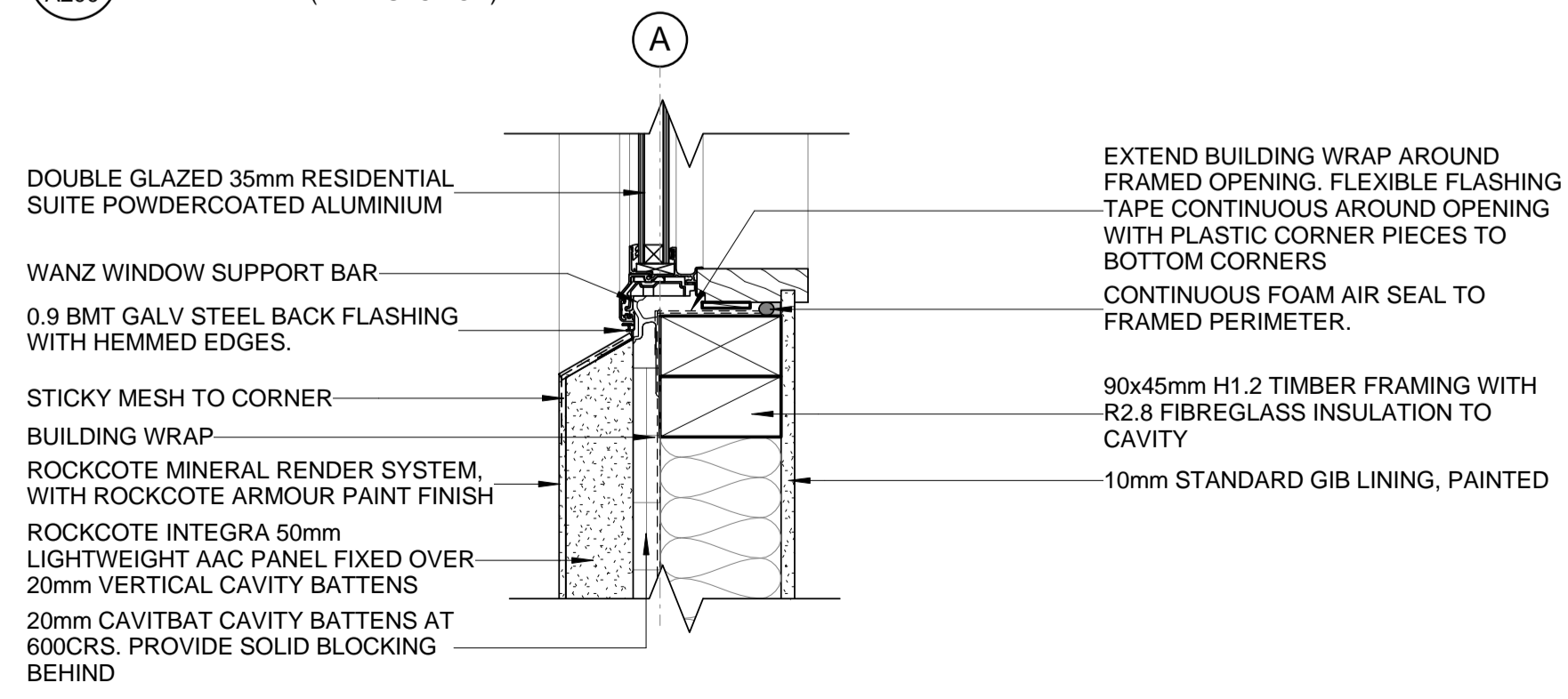
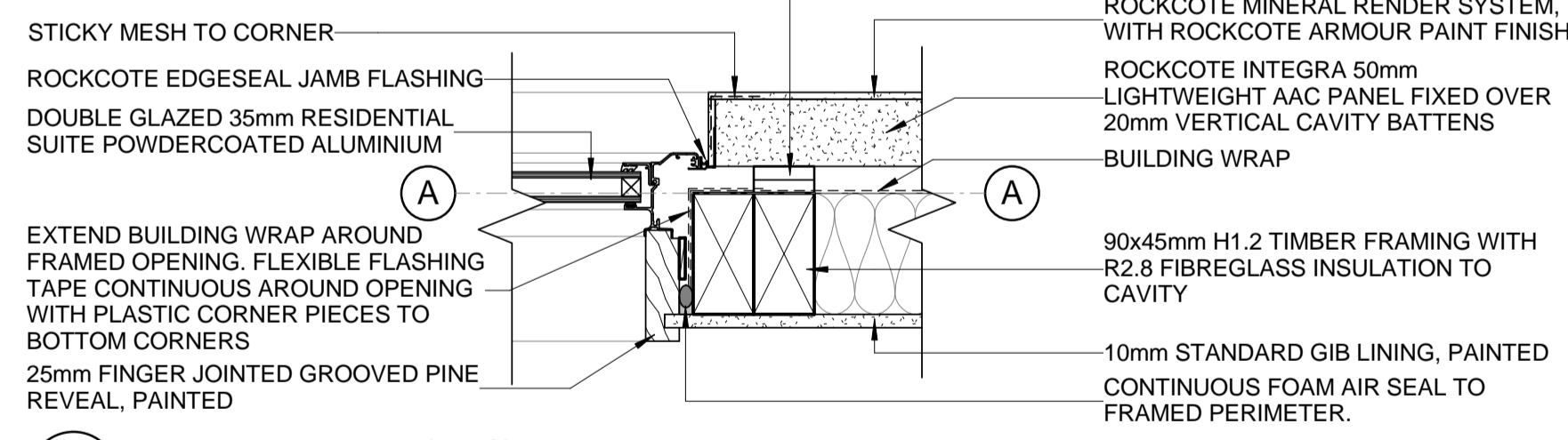
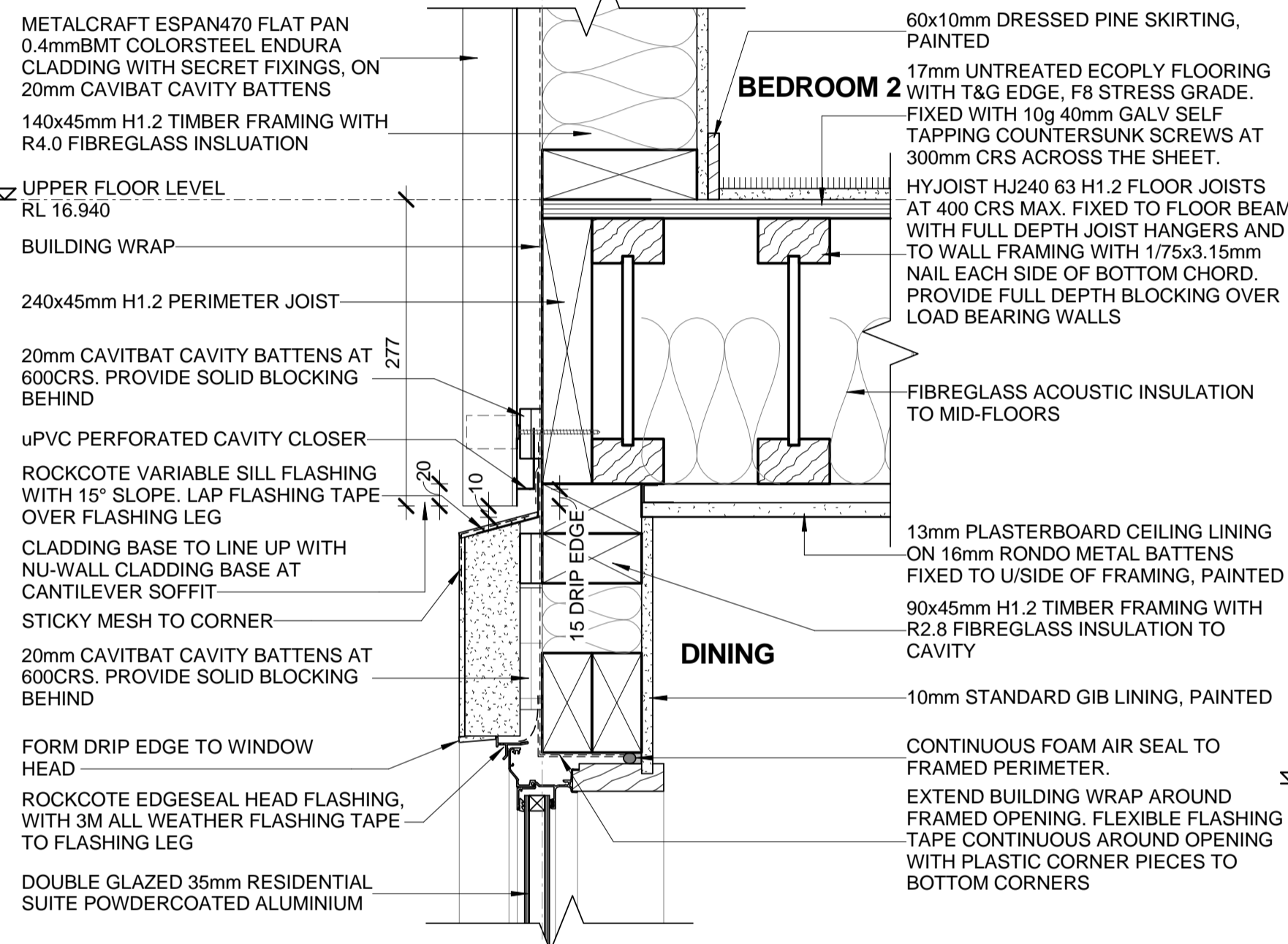
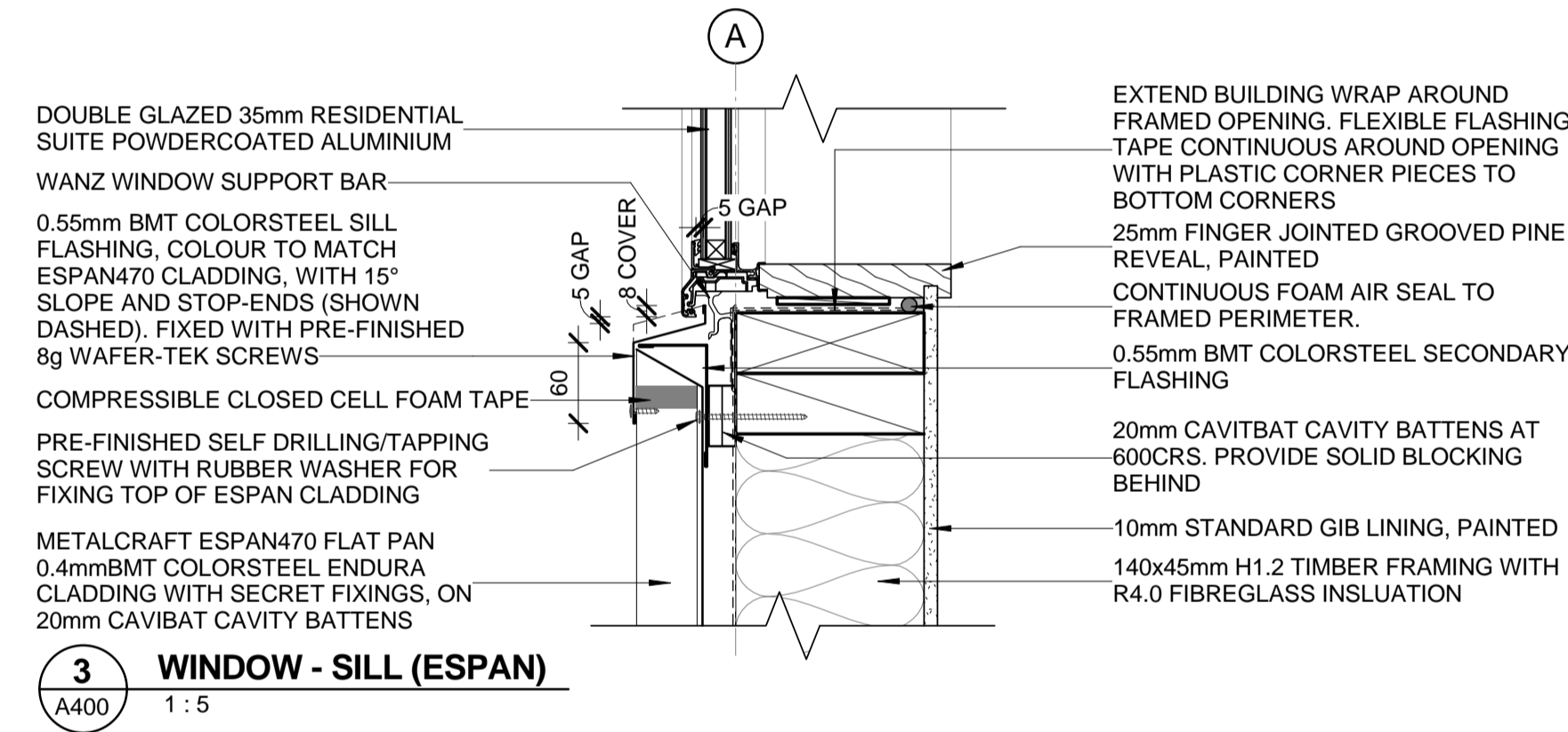
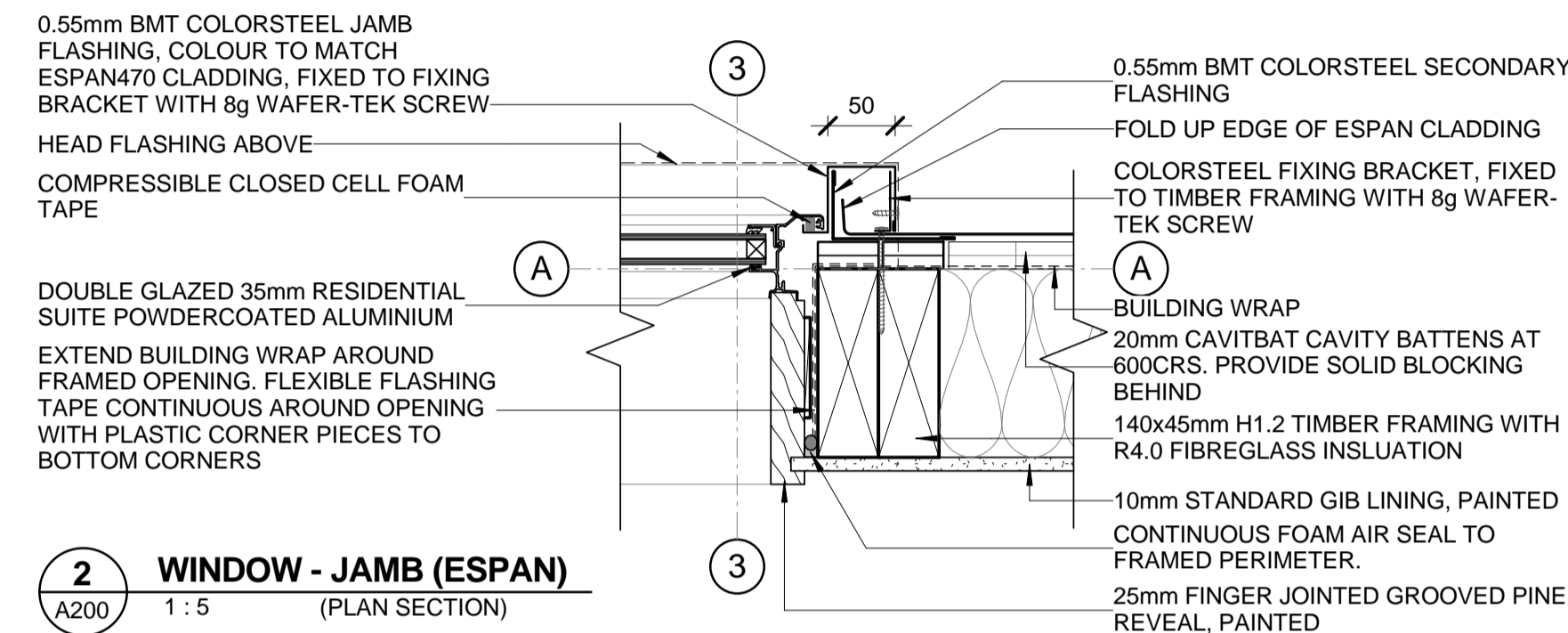
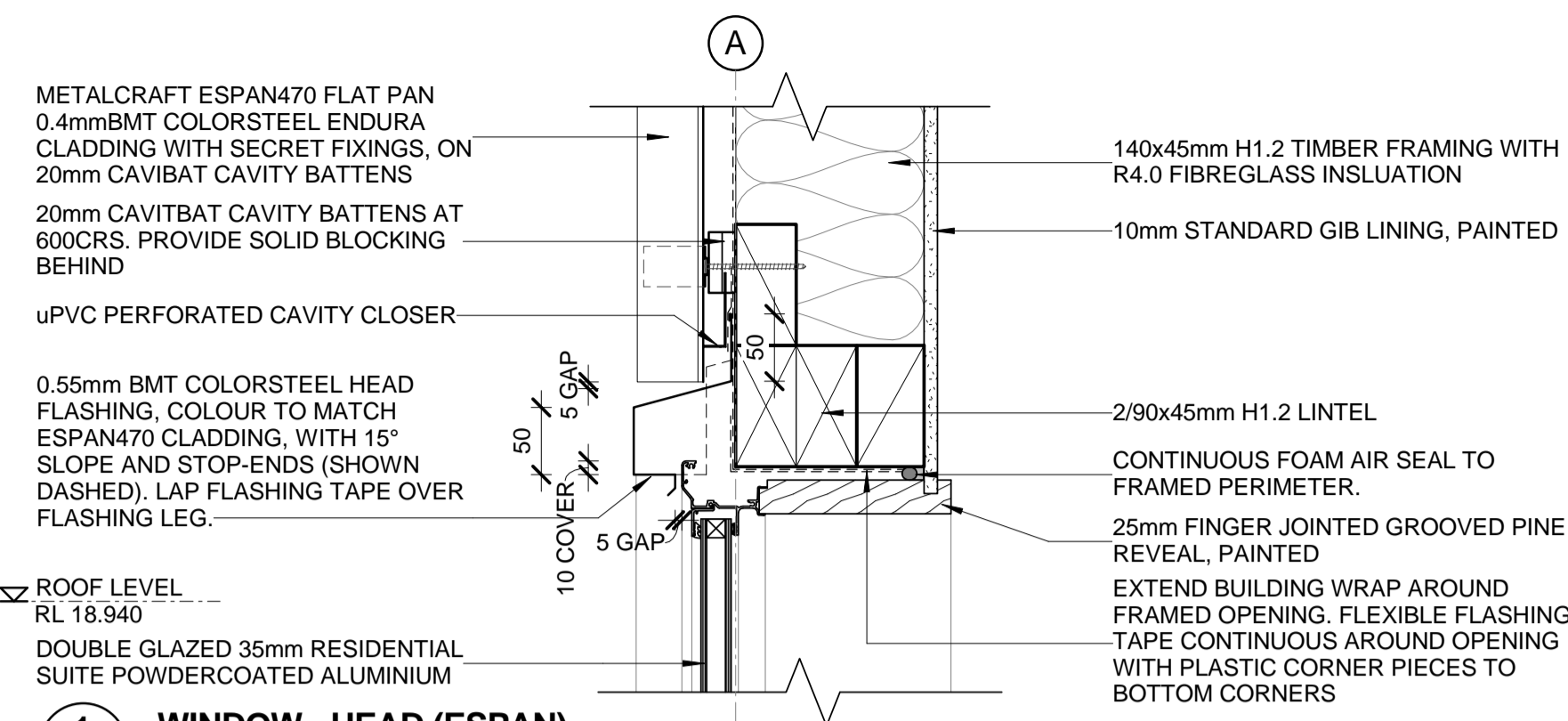
JOB NUMBER 1603
SHEET ISSUE DATE 3/10/16
SCALE AT A1 1:5

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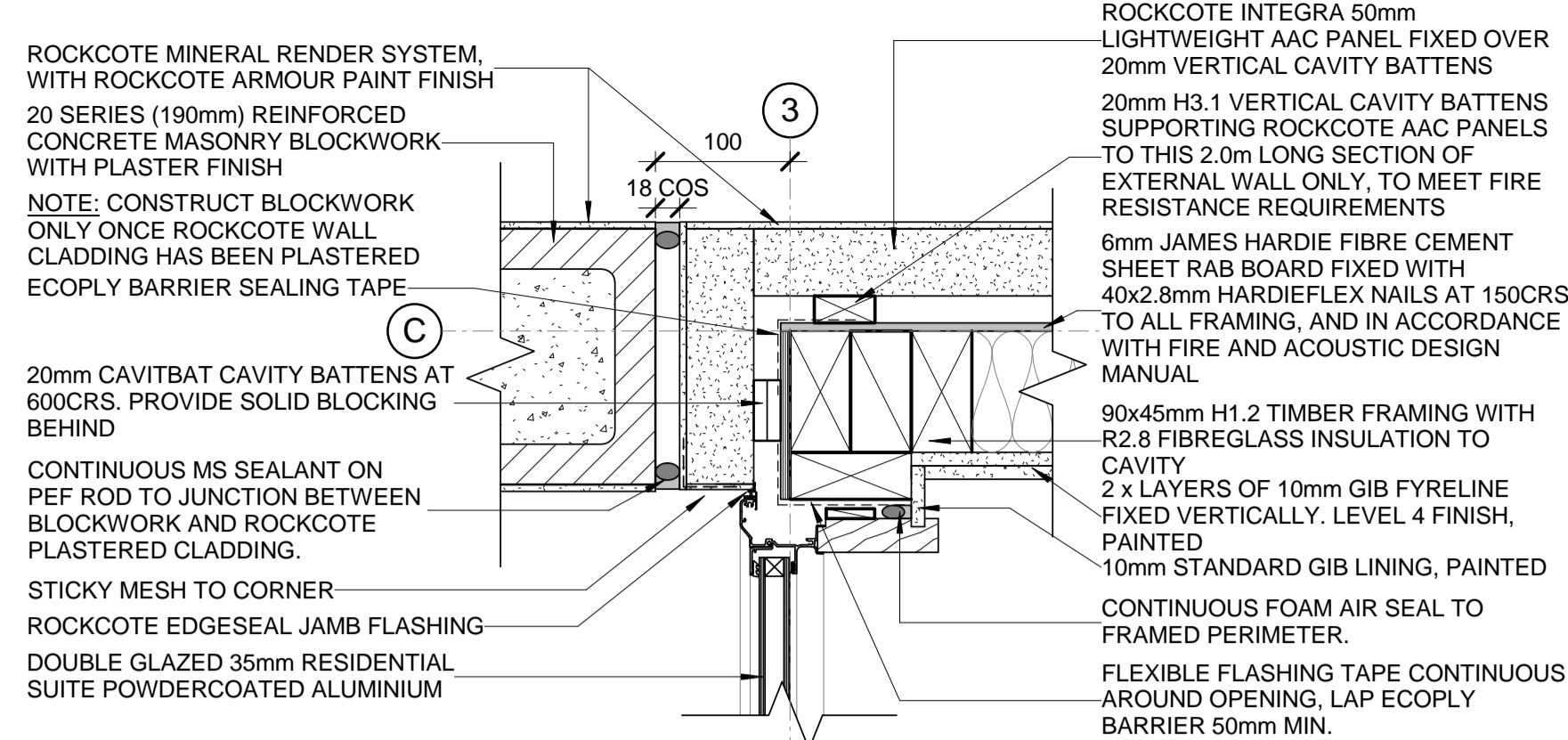
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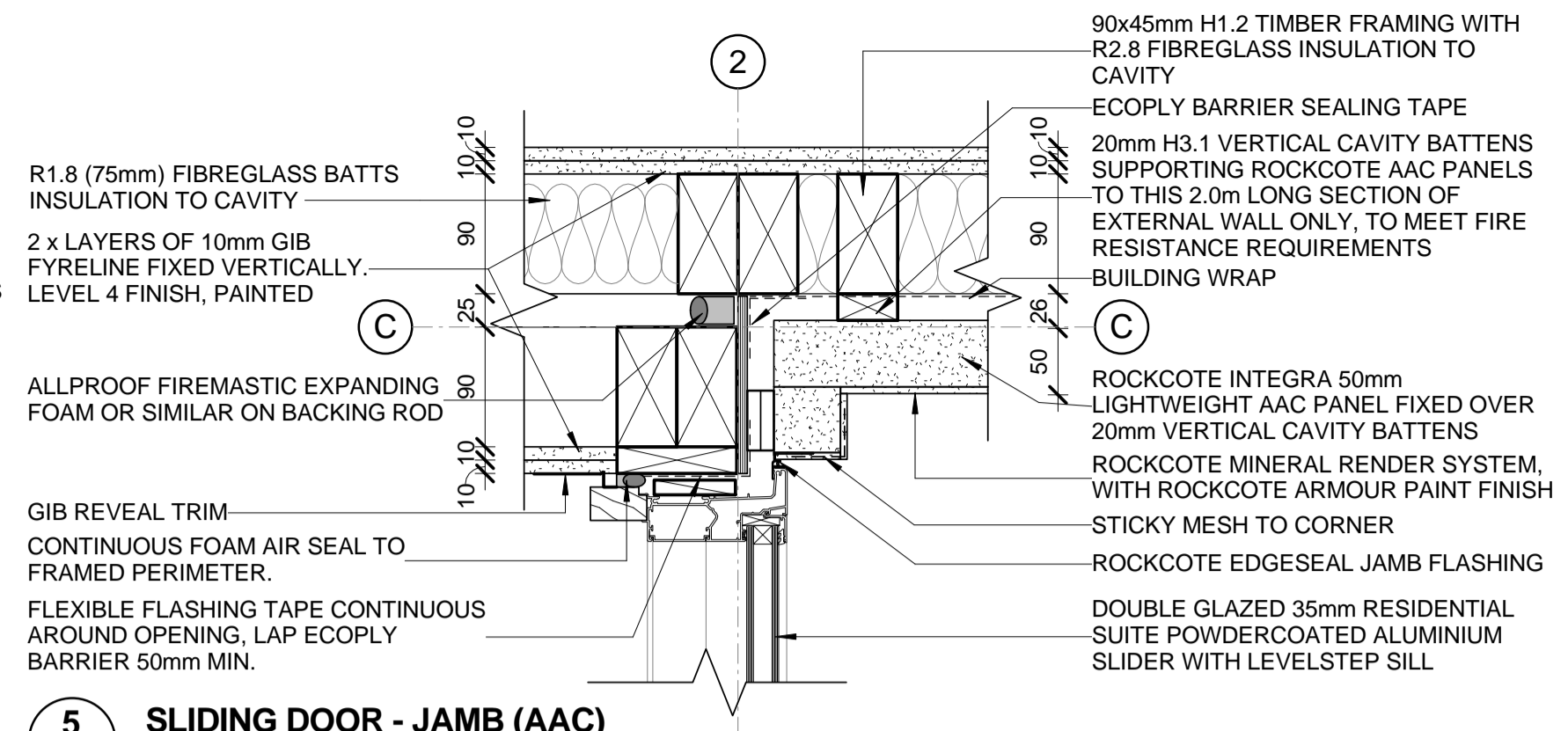
63+65 OSBORNE ST
 WALTHAM
 CHRISTCHURCH

DETAILS - WINDOWS

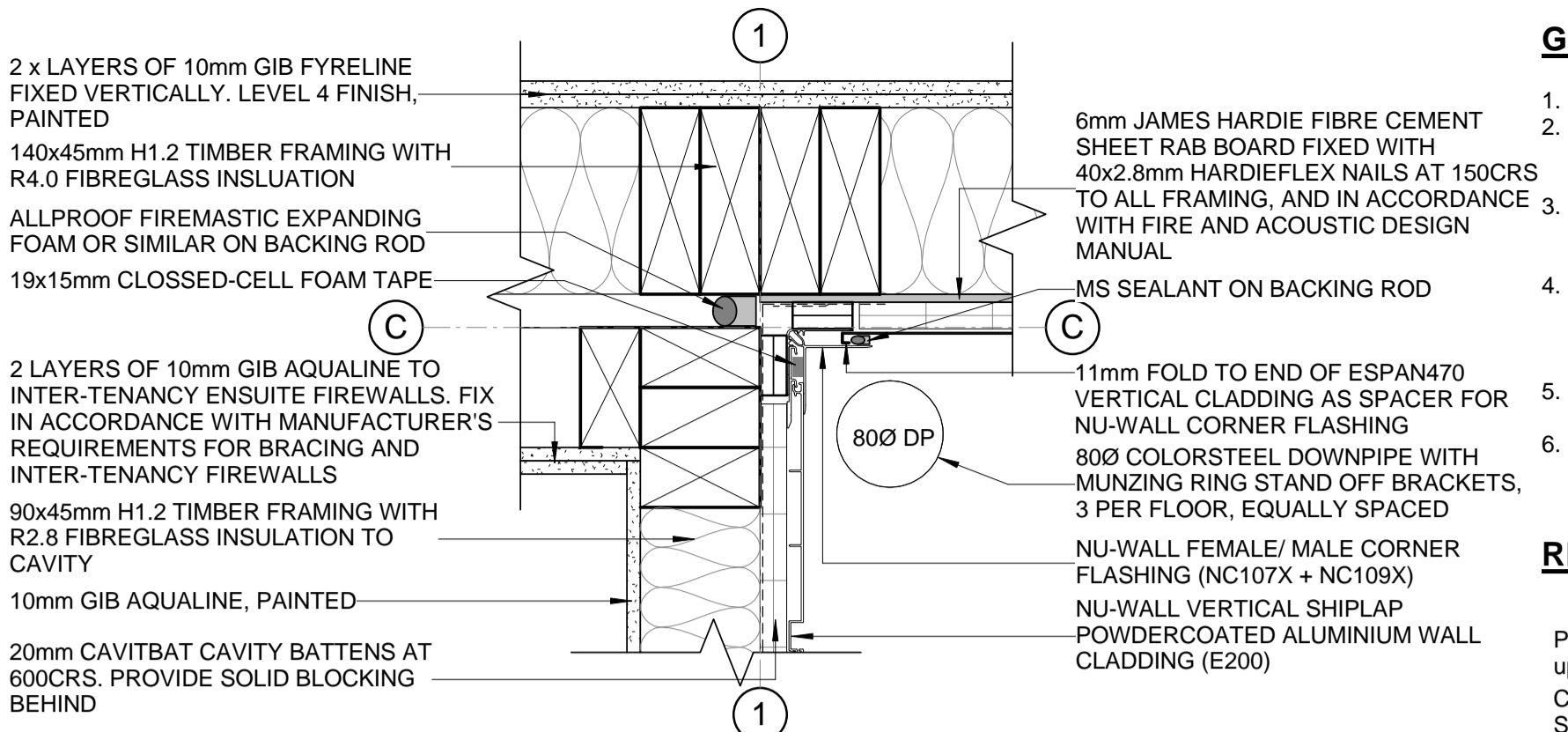
JOB NUMBER 1603
 SHEET ISSUE DATE 3/10/16
 SCALE AT A1 1:5



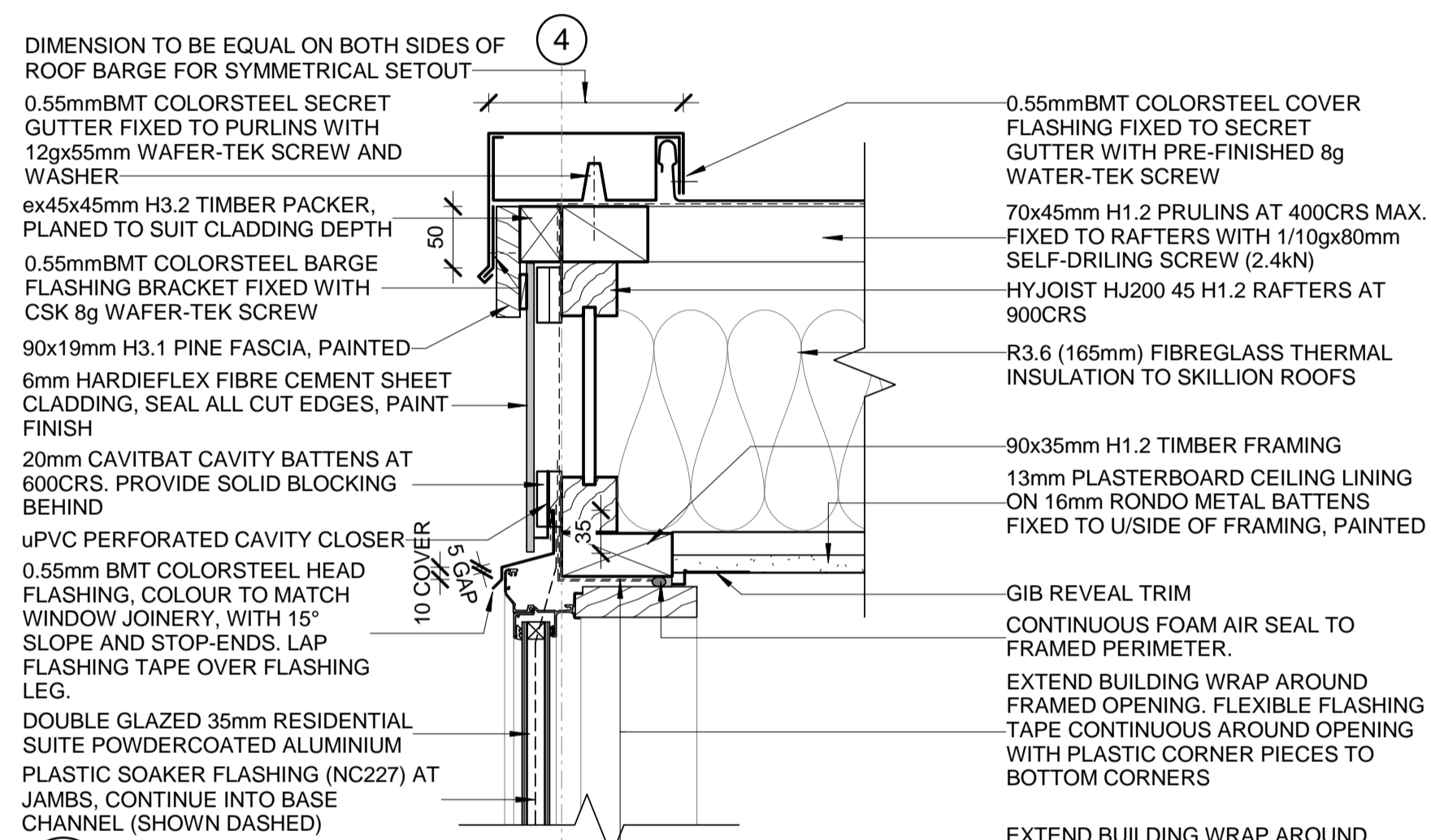
1 WINDOW - JAMB (BLOCK/AAC CORNER)
A200 1:5 (PLAN SECTION)



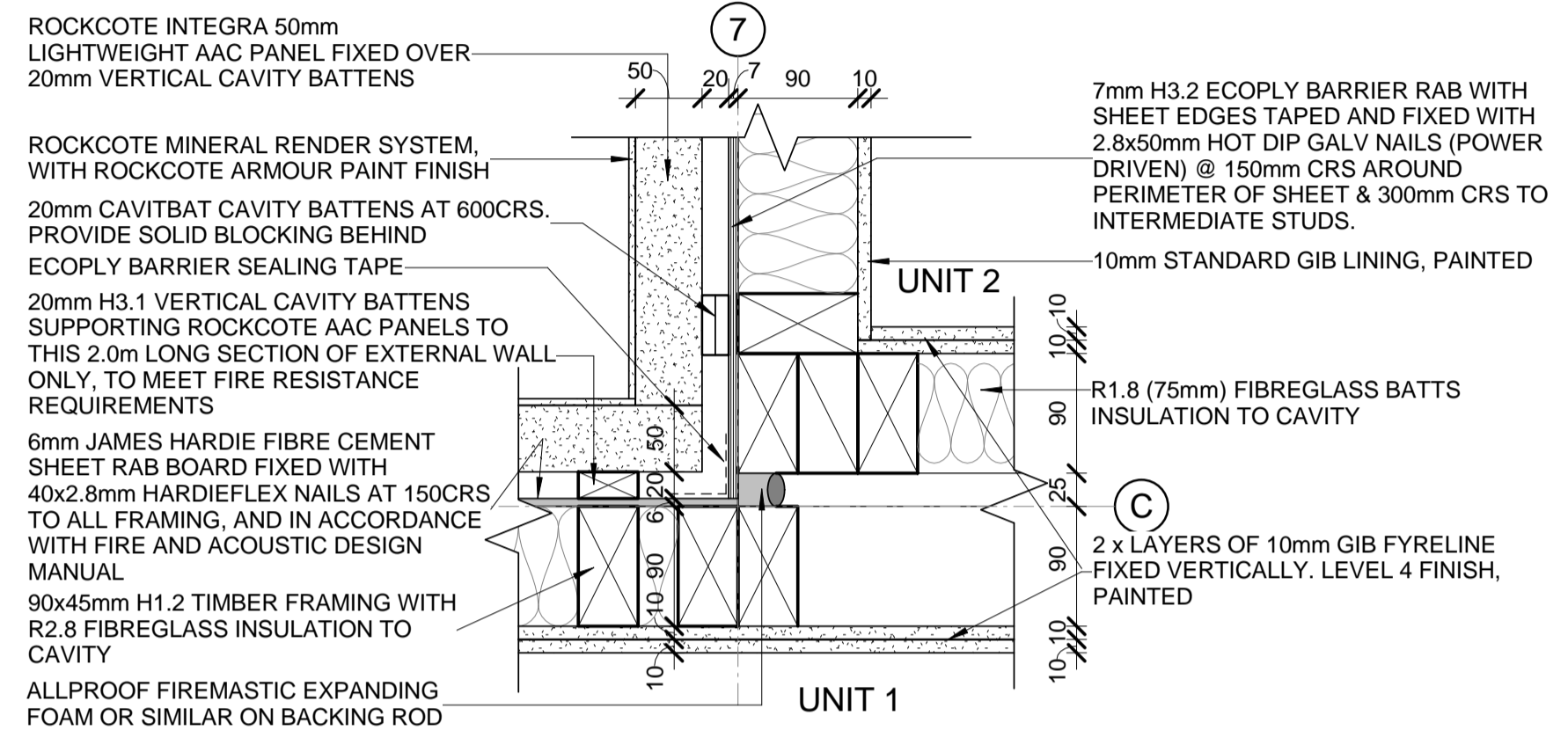
5 SLIDING DOOR - JAMB (AAC)
A200 1:5 (PLAN SECTION)



10 NU-WALL / ESPAN - INTERNAL CORNER
A200 1:5 (PLAN SECTION)



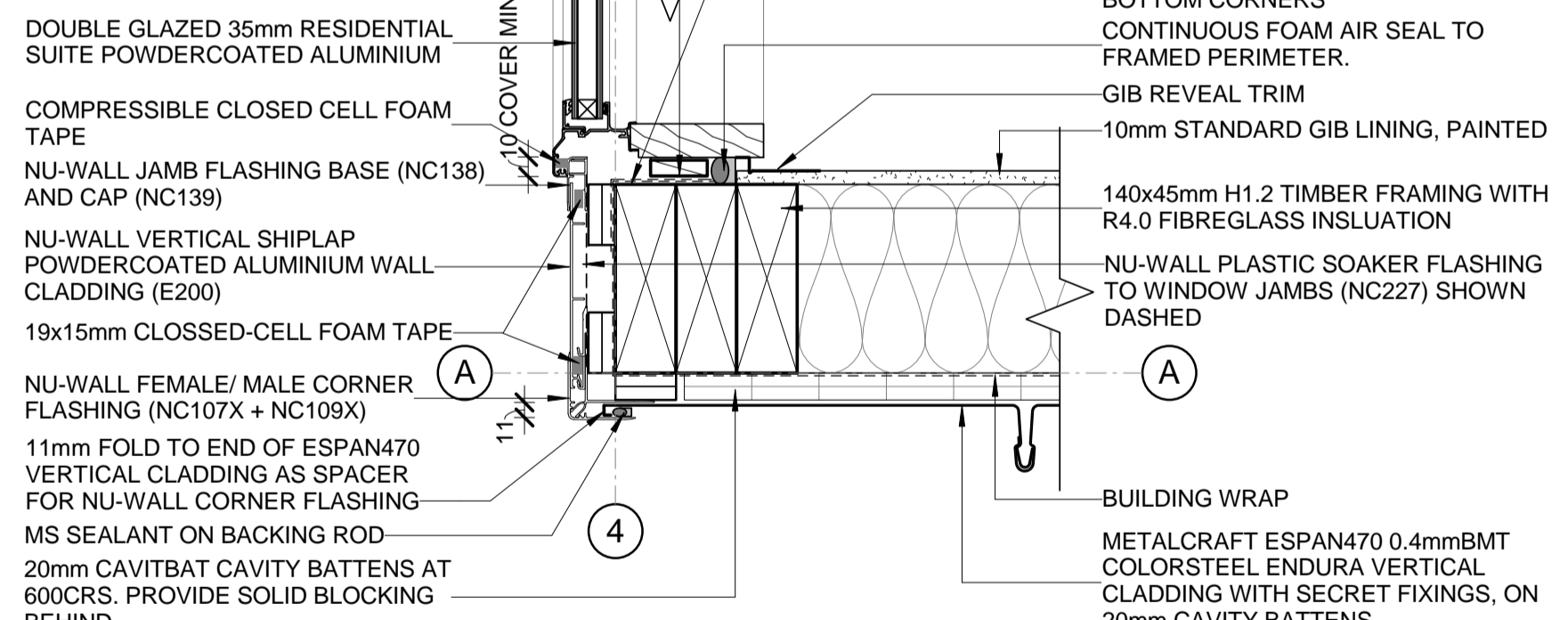
2 WINDOW - HEAD (FCS)
A401 1:5



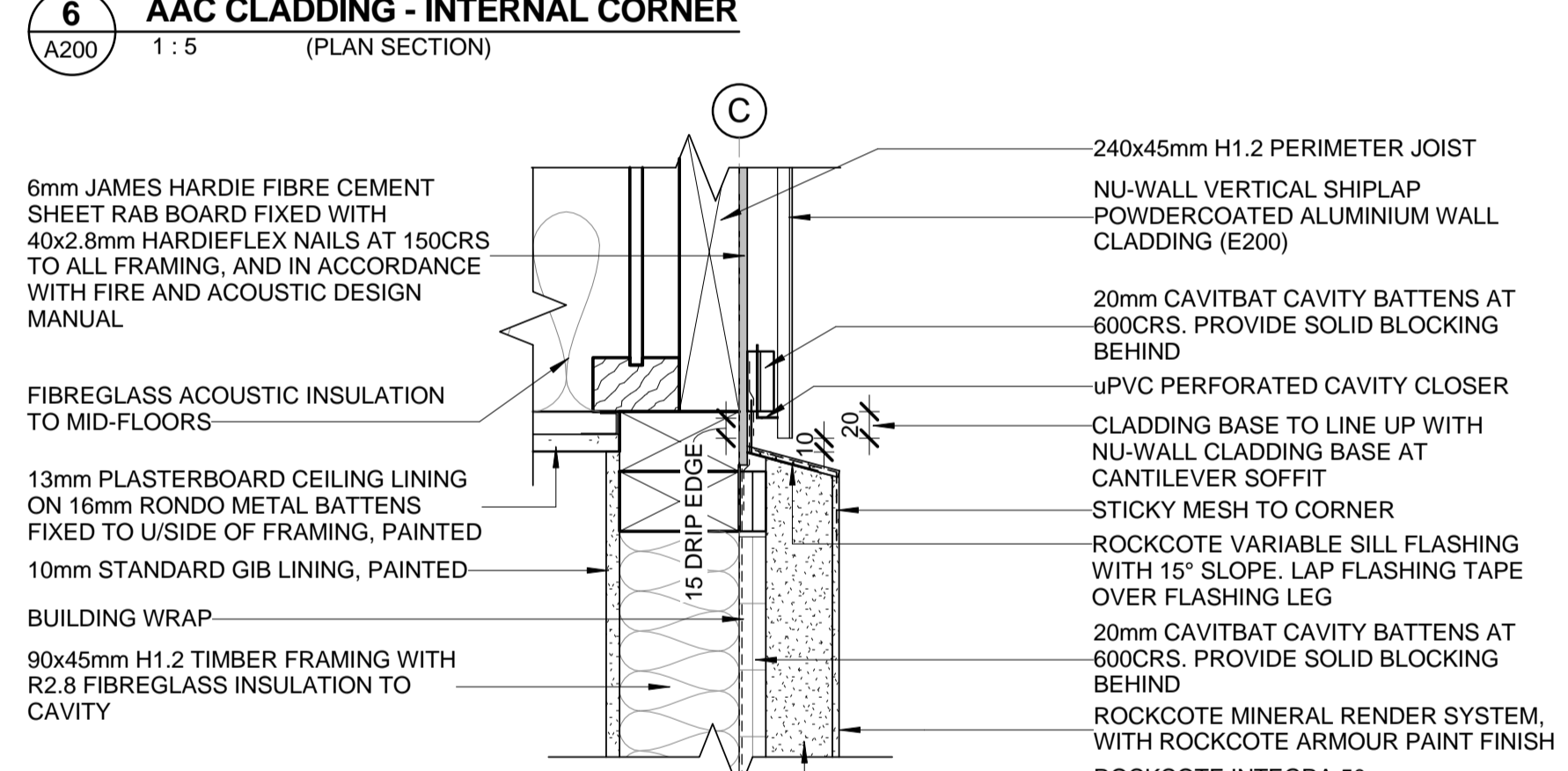
6 AAC CLADDING - INTERNAL CORNER
A200 1:5 (PLAN SECTION)



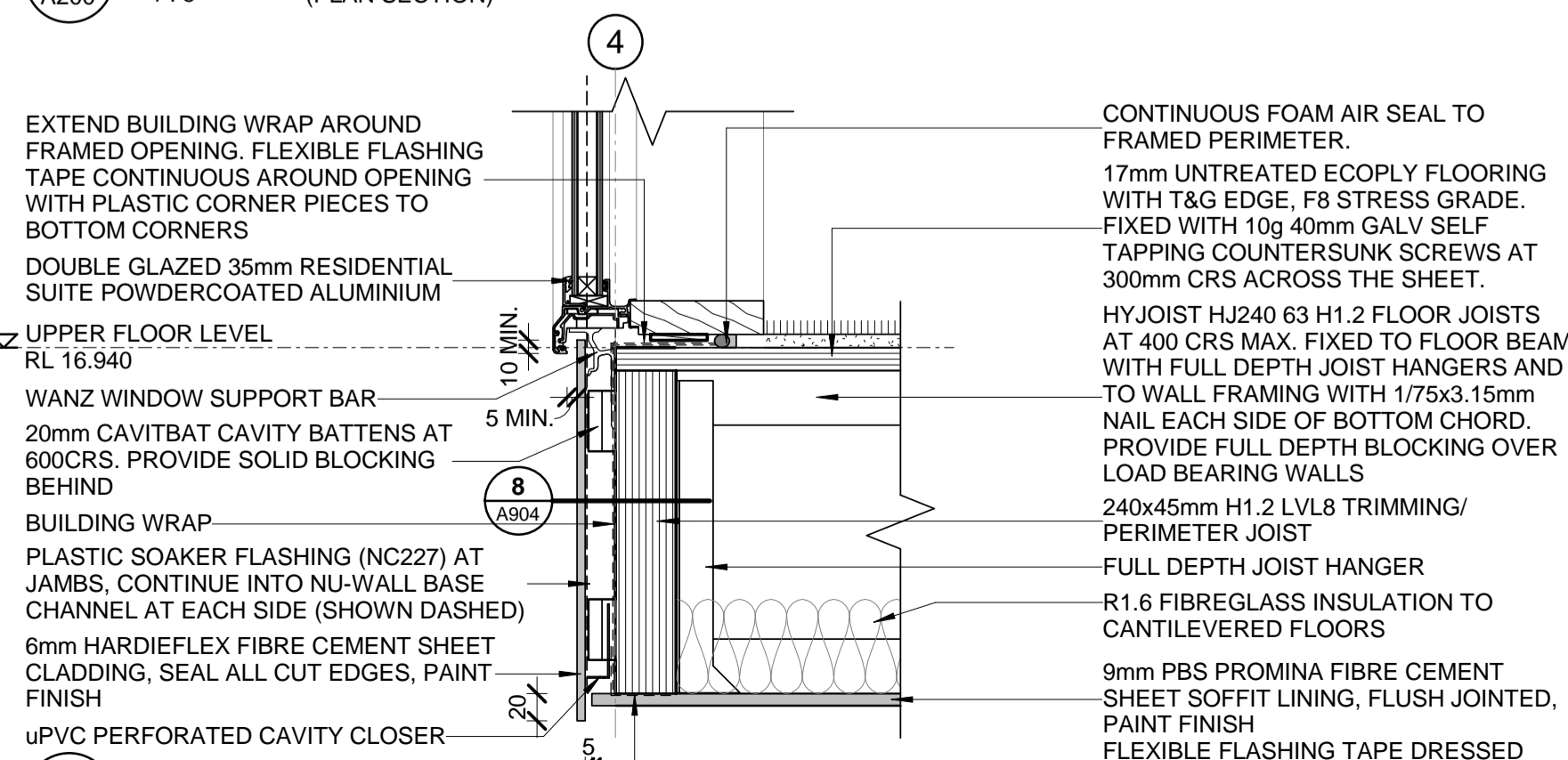
7 CLADDING JUNCTION - NU-WALL/ AAC
A400 1:5



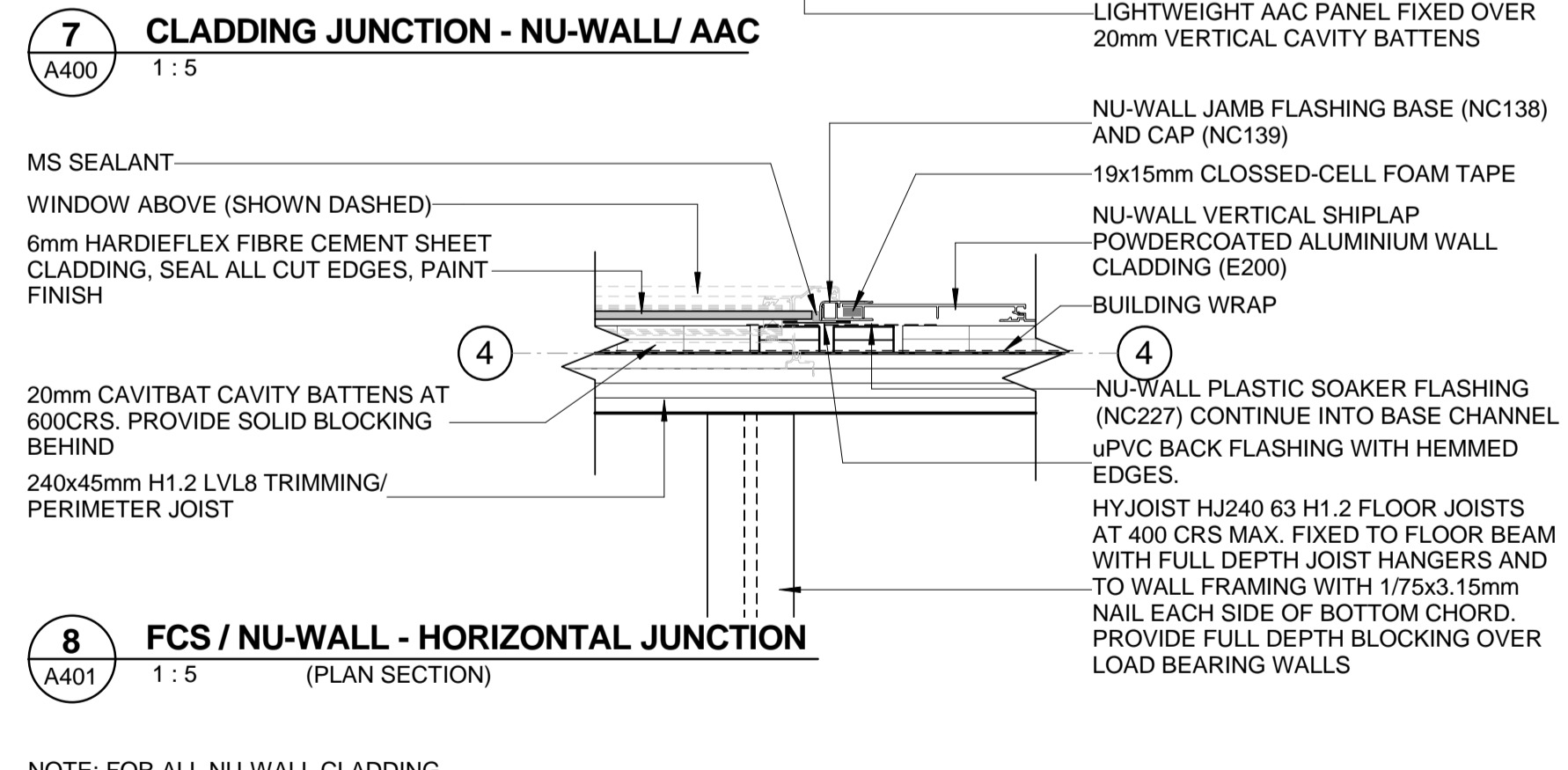
3 WINDOW JAMB & NU-WALL/ ESPAN EXT CORNER
A200 1:5 (PLAN SECTION)



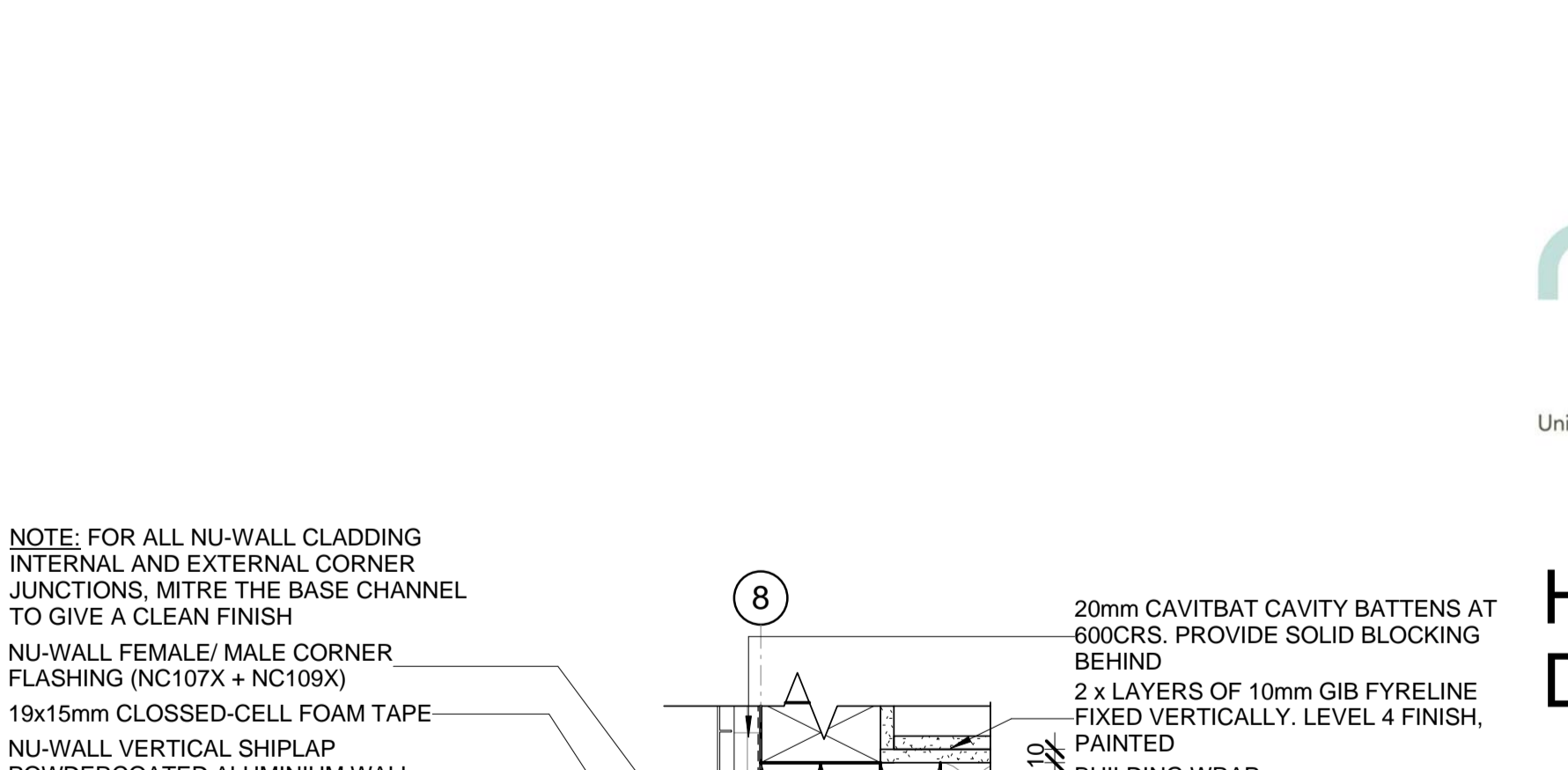
8 FCS / NU-WALL - HORIZONTAL JUNCTION
A401 1:5 (PLAN SECTION)



4 WINDOW - SILL (FCS)
A401 1:5



9 NU-WALL - EXTERIOR CORNER
A200 1:5 (PLAN SECTION)



11 NU-WALL - INTERNAL CORNER
A200 1:5 (PLAN SECTION)

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- | DESCRIPTION | DATE | REV |
|---|----------|-----|
| Plaster type changed, minor drawing updates | 23/08/16 | A |
| CCC RFI updates, notes added, and SW detention system | 3/10/16 | B |

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HOUSING DEVELOPMENT
63+65 OSBORNE ST WALTHAM CHRISTCHURCH

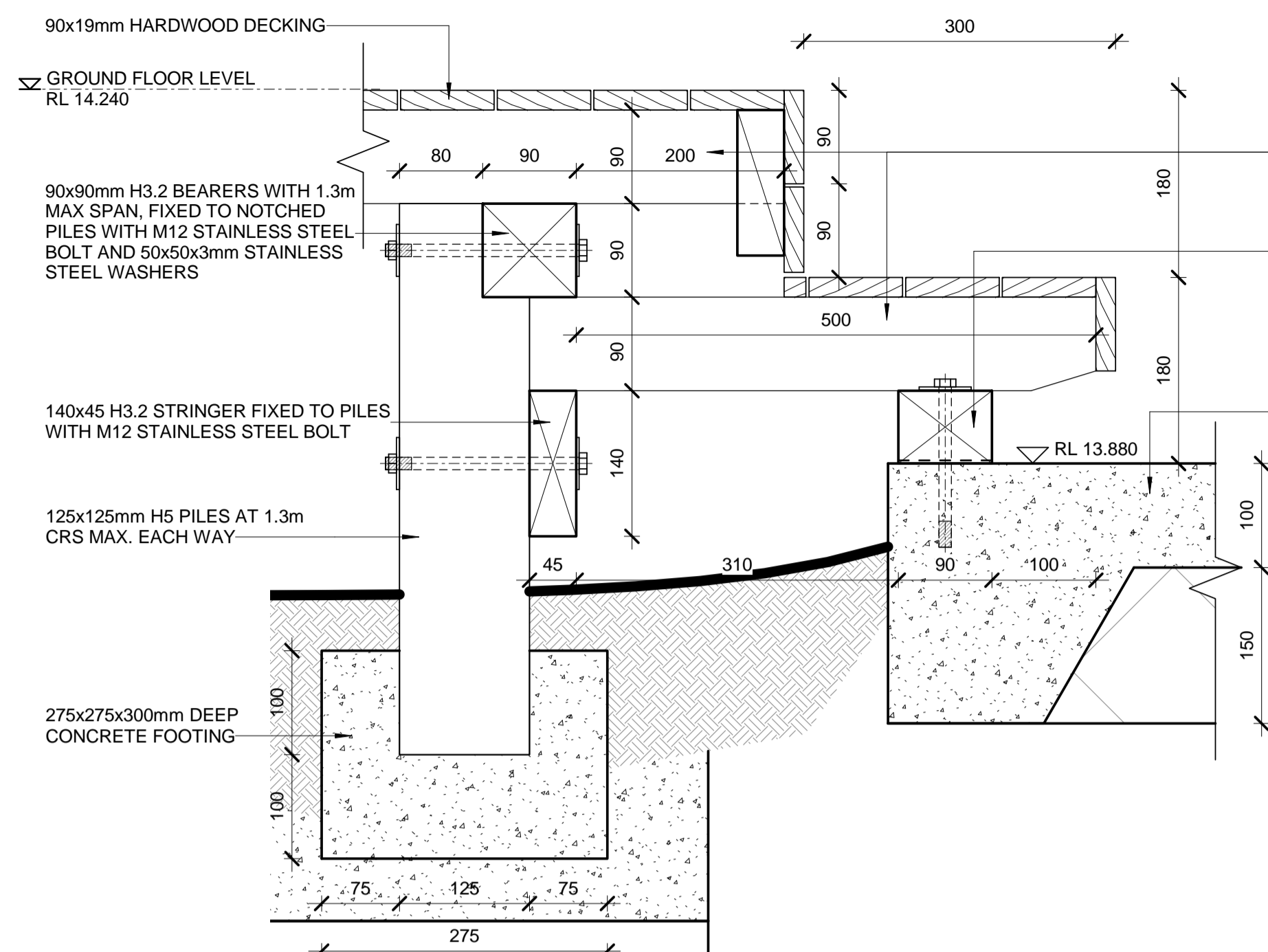
DETAILS - CLADDING
JOB NUMBER 1603
SHEET ISSUE DATE 3/10/16
SCALE AT A1 1:5

GENERAL NOTES

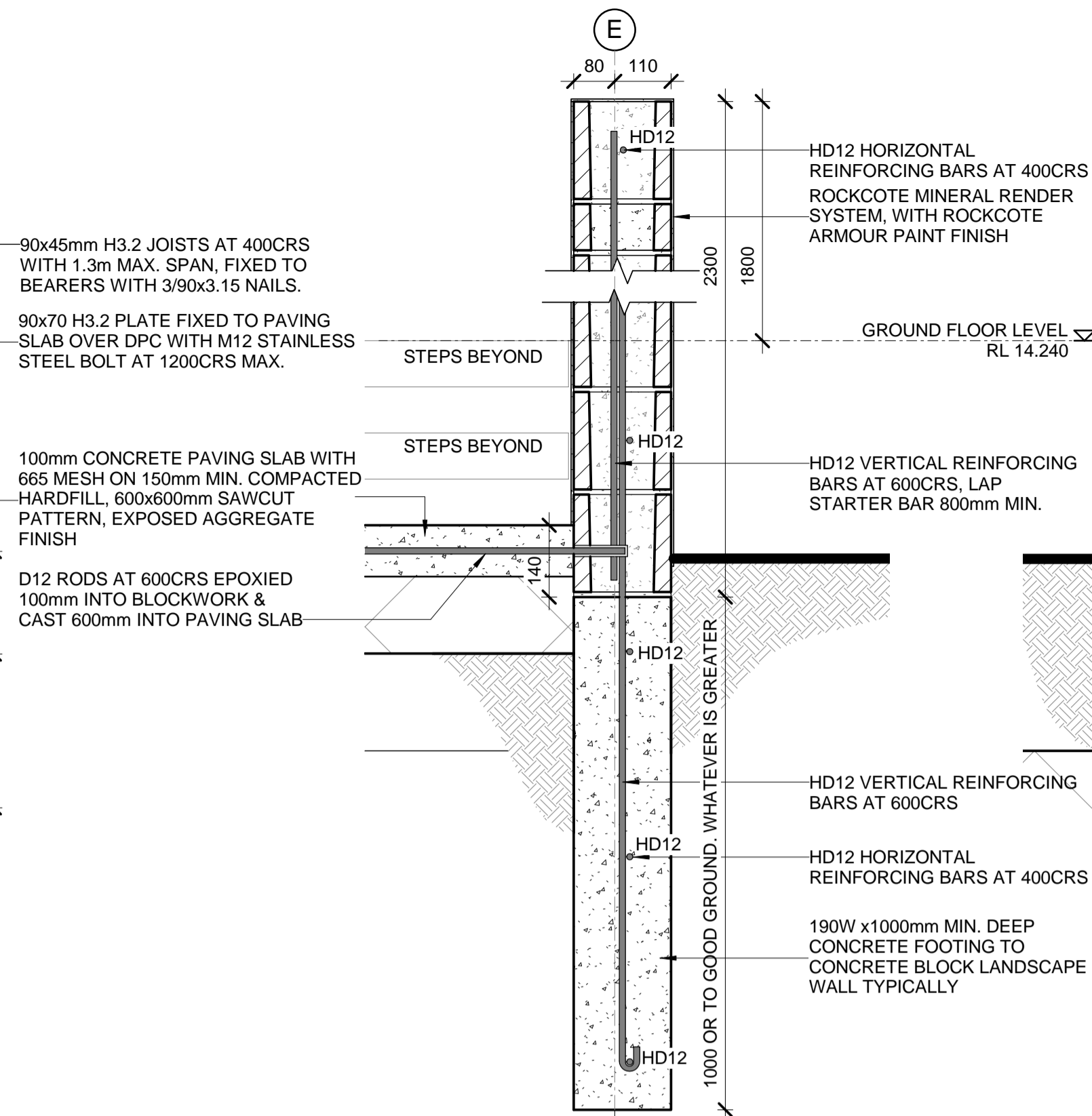
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REVISION SCHEDULE

DESCRIPTION	DATE	REV
Plaster type changed, minor drawing updates	23/08/16	A
Gravel raft size increased	3/10/16	B



1 DECK DETAIL - TYPICAL
A400 1:5

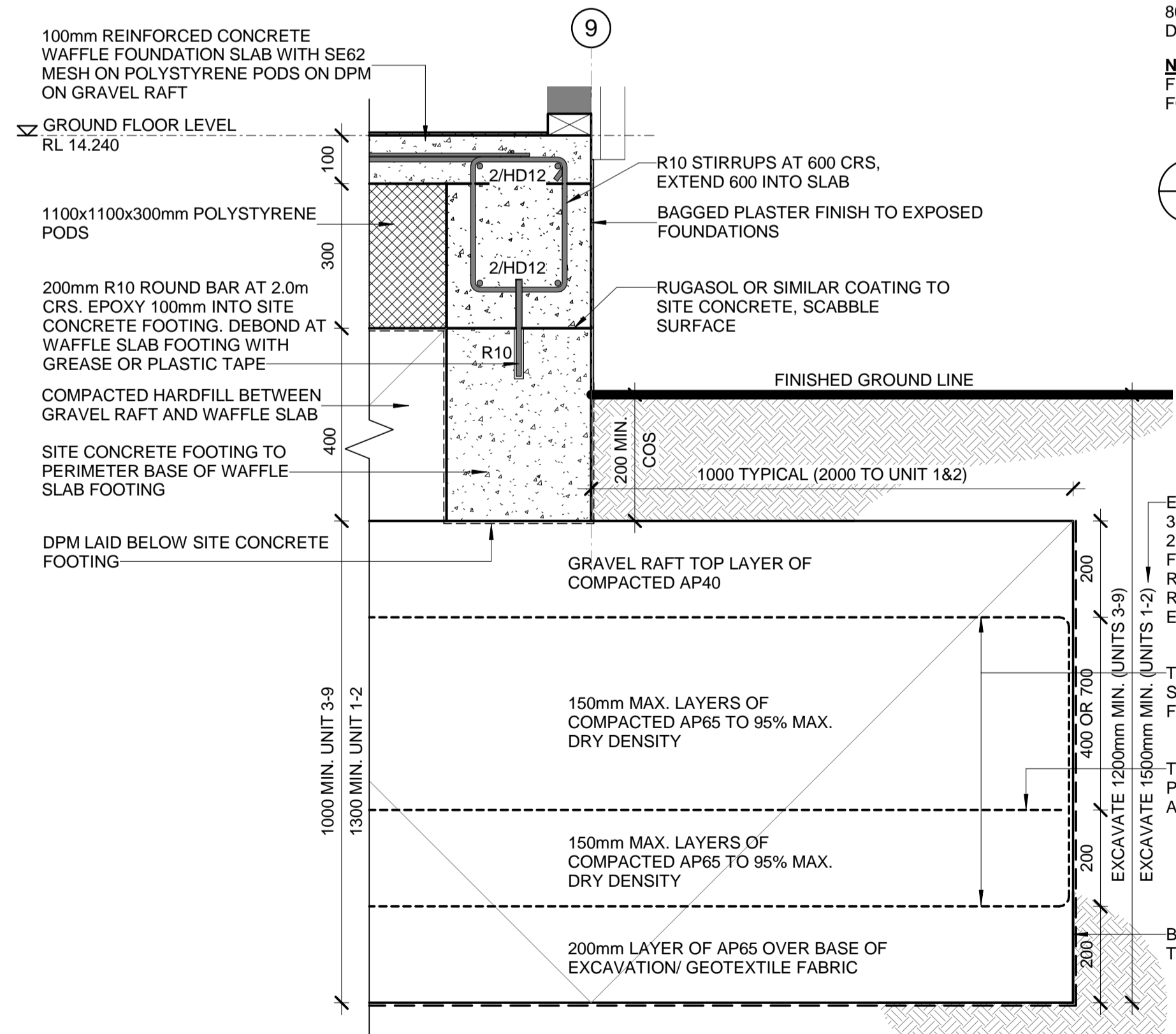


3 BLOCK WALL - FOUNDATION (RAFT)
A203 1:10

2 BLOCK WALL - FOUNDATION (TYPICAL)
A203 1:10

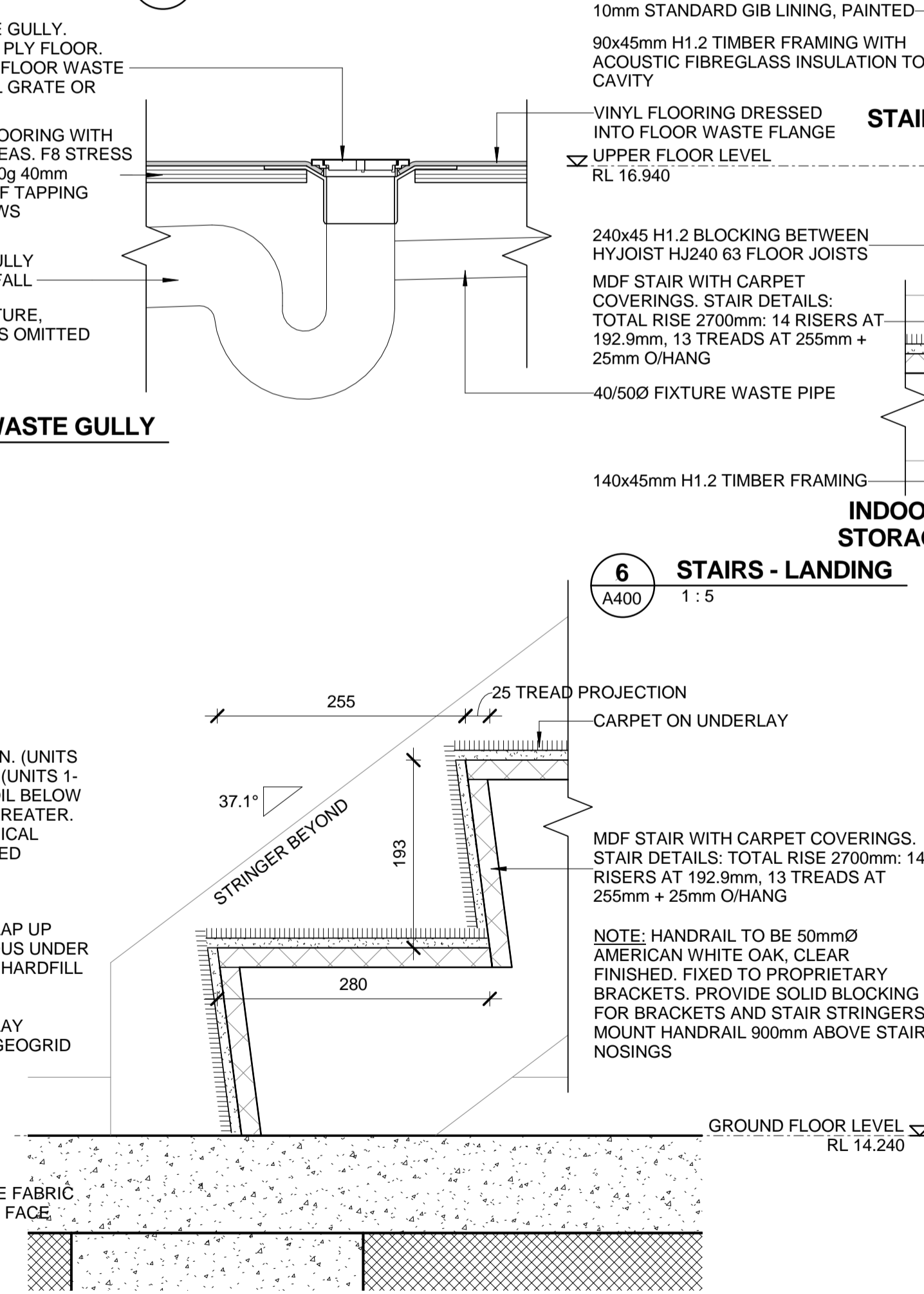


9 FLOOR WASTE GULLY
A400 1:5

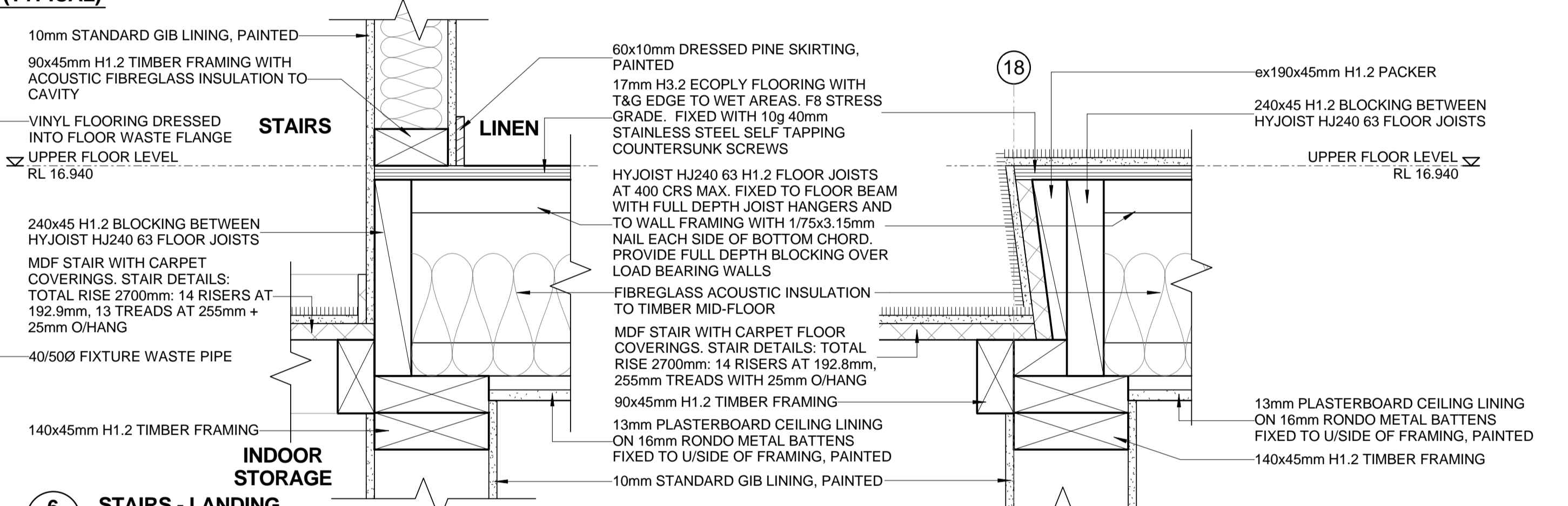


4 GRAVEL RAFT
A401 1:10

NOTE:
 1. REINFORCED CRUSHED GRAVEL RAFT G1D.
 REFER TO APPENDIX C4 IN THE MBIE
 CANTERBURY GUIDANCE DOCUMENT PART C



5 STAIRS - BASE
A400 1:5



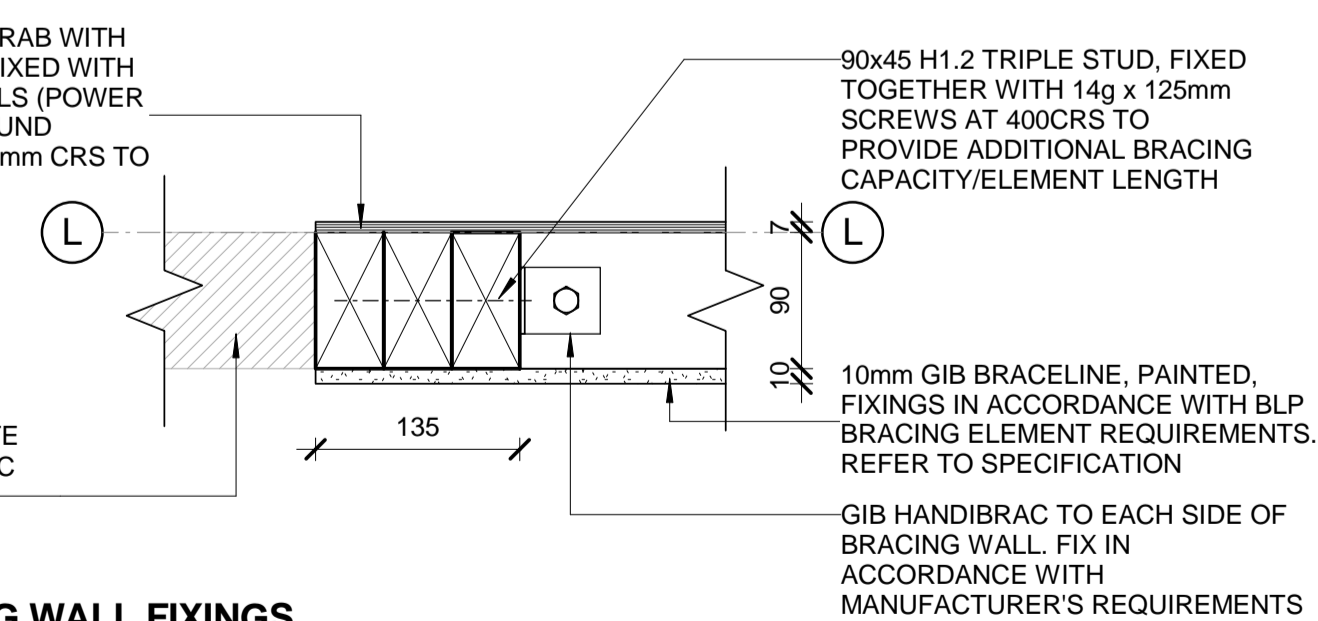
6 STAIRS - LANDING
A400 1:5

7 STAIRS - LANDING STEP
A401 1:5

NOTE: ONLY STRUCTURAL BUILDING COMPONENTS SHOWN

7mm H3.2 ECOPLY BARRIER RAB WITH SHEET EDGES TAPED AND FIXED WITH 2.8x50mm HOT DIP GALV NAILS (POWER DRIVEN) @ 150mm CRS AROUND PERIMETER OF SHEET & 300mm CRS TO INTERMEDIATE STUDS.

8 BLP BRACING WALL FIXINGS
A200 1:5 (PLAN SECTION)



DETAILS

CEILING NOTES & LEGEND

LININGS

13mm STANDARD GIB LININGS GENERALLY
 13mm GIB AQUALINE TO ENSUITES & LAUNDRY.
 GIB PLASTERBOARD CEILING LININGS STOPPED TO LEVEL 4 PAINT FINISH GENERALLY.

SERVICES

- ONE WAY LIGHT SWITCH AT 1m AFL
- TWO WAY LIGHT SWITCH AT 1m AFL

NOTE:
 ALL SWITCHES LOCATED AT 1000mm ABOVE FLOOR LEVEL UNLESS NOTED OTHERWISE

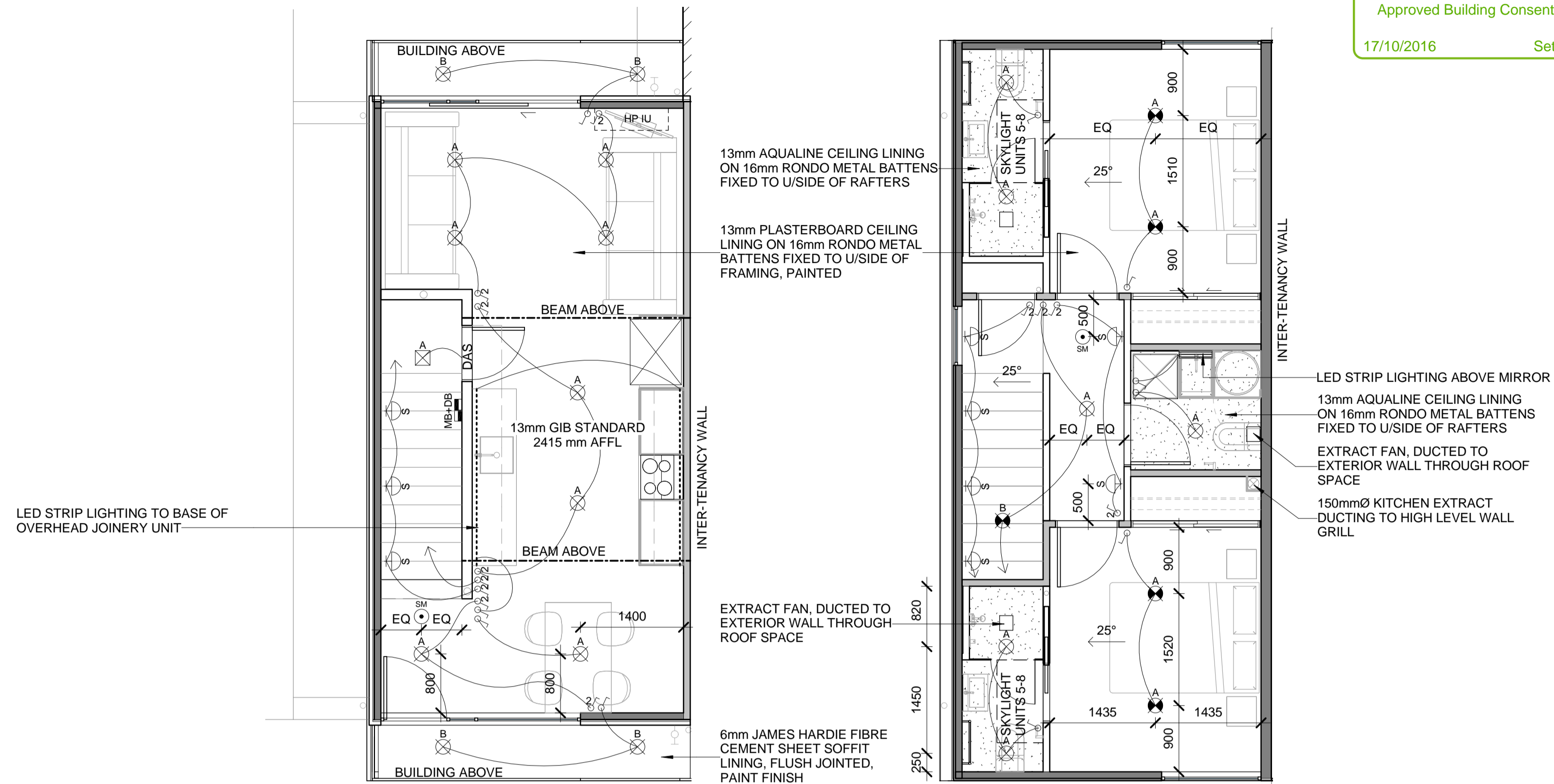
- ⊗ RECESSED LED DOWN LIGHT (TYPE A)
- ⊙ PENDANT LIGHT (TYPE A)
- ⊙ SURFACE MOUNTED CEILING LIGHT (TYPE A)
- ⊙ WALL MOUNTED STEP LIGHT AT 150mm ABOVE STAIR TREAD LINE OR FLOOR LEVEL
- ▬ LED STRIP LIGHT IN ALUMINIUM EXTRUSION WITH DIFFUSER, LENGTH TO SUIT MIRROR
- LED STRIP LIGHT
- ▽ SENSOR ACTIVATED SECURITY LIGHT
- ▽ MOTION SENSOR
- DAS DOOR ACTIVATED SWITCH
- ⊙ SM HARD WIRED SMOKE ALARM CONNECTED TO SECURITY SYSTEM, WITH HUSH SWITCH, LOCATED WITHIN 3m OF BEDROOM DOORS.

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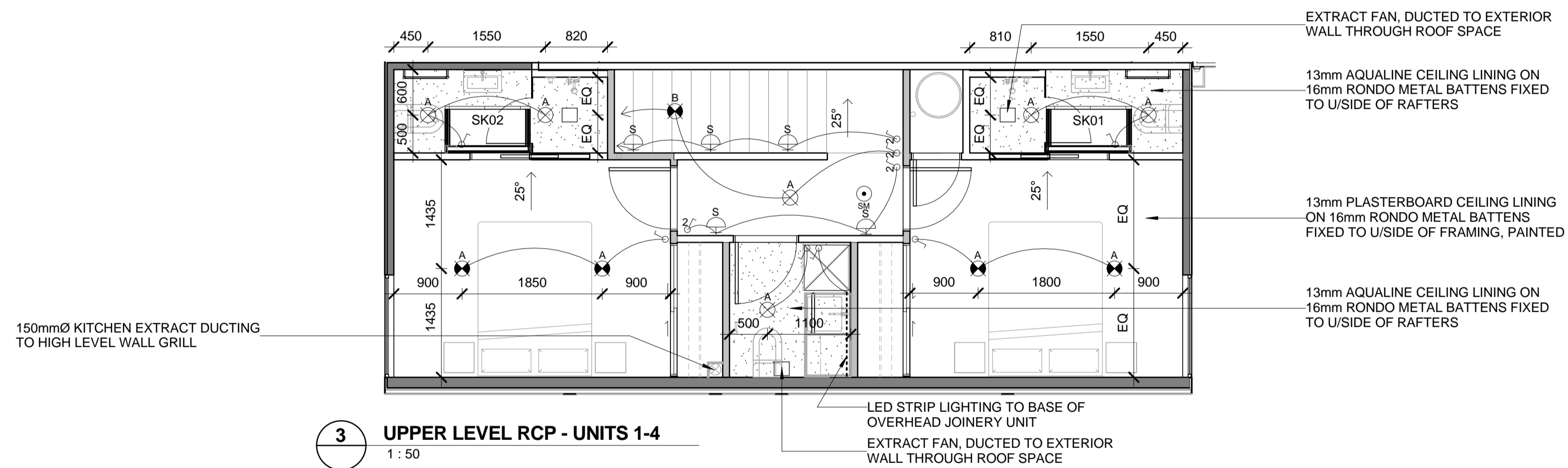
DESCRIPTION	DATE	REV



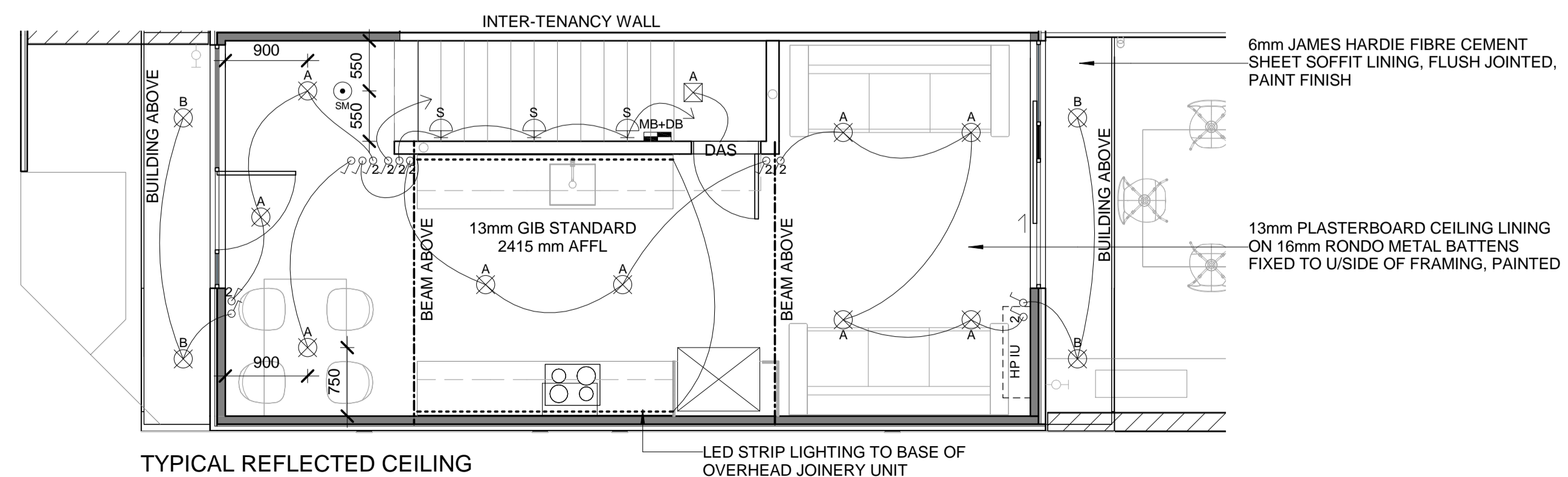
TYPICAL REFLECTED CEILING PLAN WITH UNIT 9 SHOWN ABOVE

1 GROUND LEVEL RCP - UNITS 5-9
1:50

2 UPPER LEVEL RCP - UNITS 5-9
1:50



3 UPPER LEVEL RCP - UNITS 1-4
1:50



TYPICAL REFLECTED CEILING PLAN WITH UNIT 1 SHOWN ABOVE

4 GROUND LEVEL RCP - UNITS 1-4
1:50

HOUSING DEVELOPMENT

63+65 OSBORNE ST
 WALTHAM
 CHRISTCHURCH

PROPOSED REFLECTED CEILING PLANS

JOB NUMBER 1603
 SHEET ISSUE DATE 23/08/16
 SCALE AT A1 1:50

ELECTRICAL SERVICES LEGEND

- MB+DB SMART METER AND DISTRIBUTION BOARD
- 1100 POWER OUTLET - DOUBLE. HEIGHT ABOVE FLOOR LEVEL NOTED
- RCD POWER OUTLET - WITH RCD PROTECTION FOR WET AREAS
- HWC POWER OUTLET - HARD WIRED SWITCHED
- POWER OUTLET - EXTERIOR RATED
- CEILING MOUNTED POWER OUTLET
- TELECOM OUTLET, DOUBLE - RJ45 (DATA & VOICE)
- BCT OUTLET - F CONNECTOR COAX (TV & VIDEO)
- SKY OR UHF TV AERIAL (ON ROOF ABOVE). CONFIRM LOCATION AND INSTALLATION METHODOLOGY WITH ARCHITECT
- DB DOOR BELL
- A SECURITY ALARM KEYPAD

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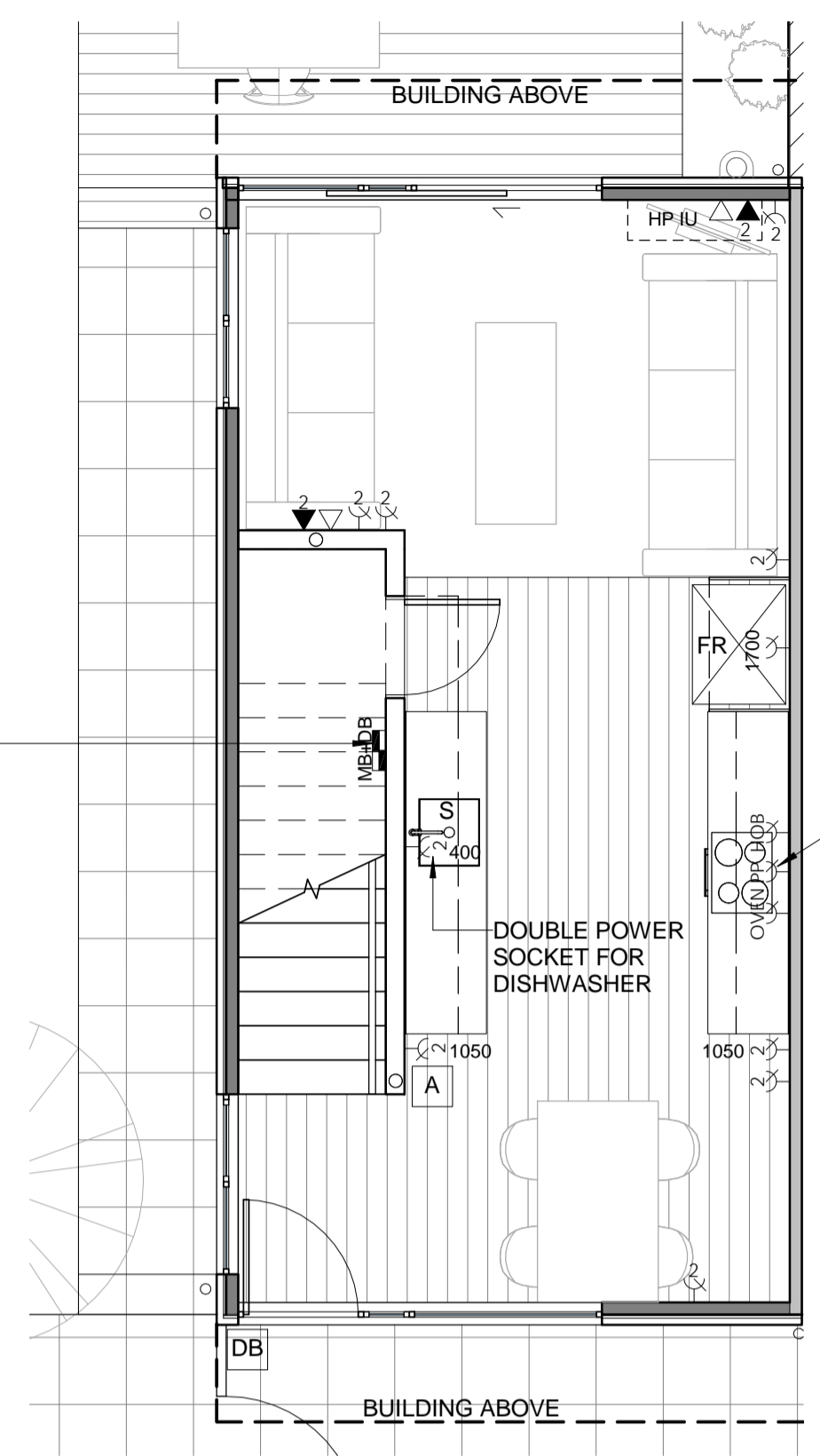
DESCRIPTION	DATE	REV
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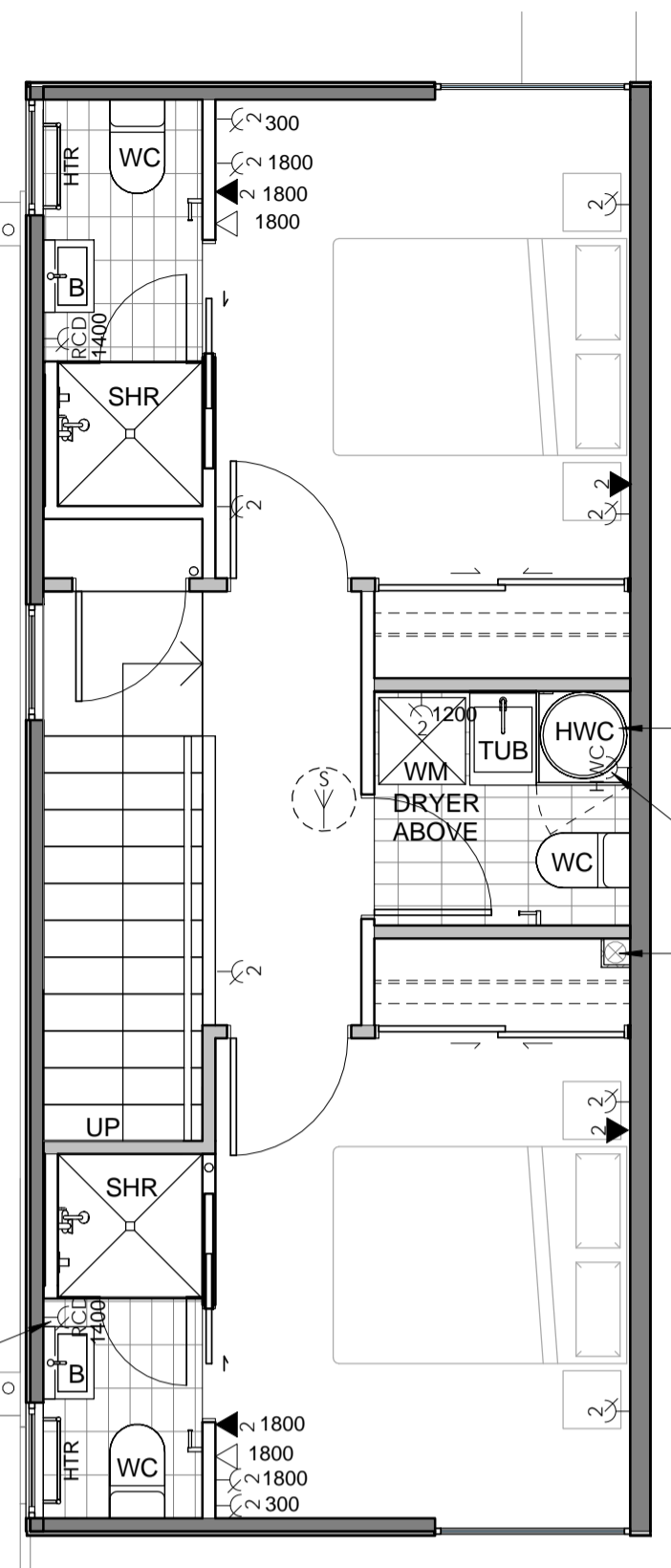
REFER TO CEILING PLANS FOR SECURITY LIGHT LOCATIONS

ALL SOCKET OUTLETS LOCATED 300mm ABOVE FLOOR LEVEL, AND 150mm ABOVE WORK BENCHES UNLESS NOTED OTHERWISE.

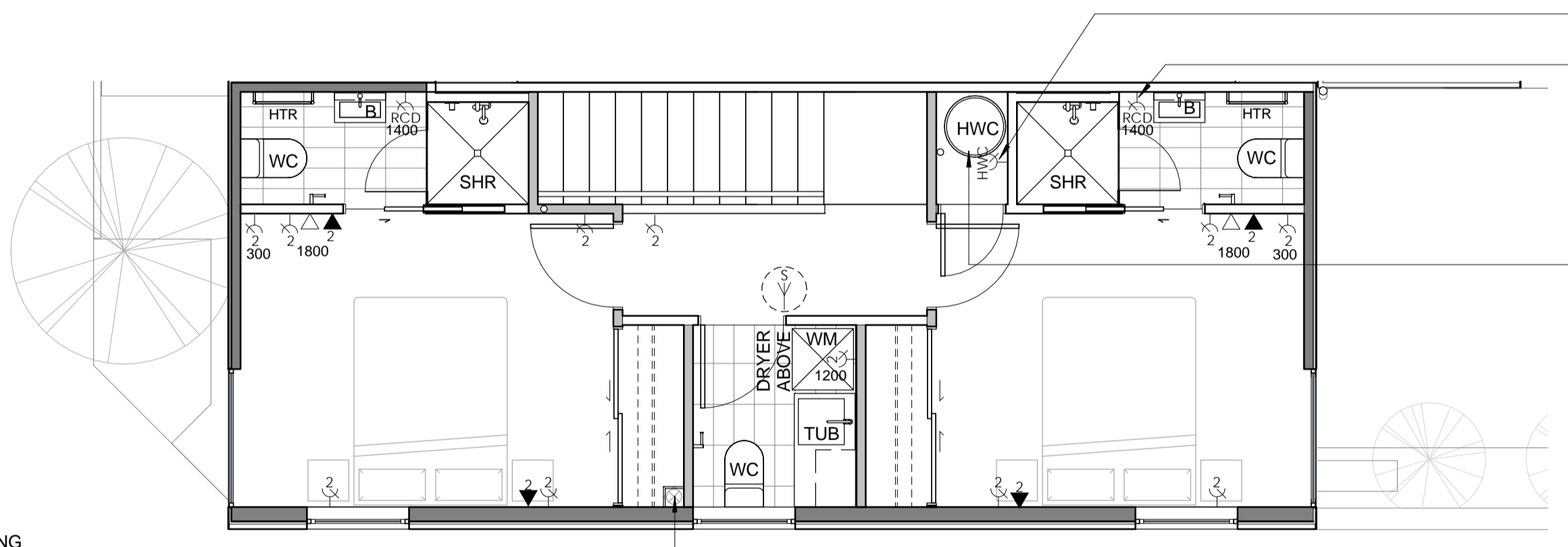
WARMUP HEATING MATS BEHIND MIRRORS IN ENSUITES. REFER TO JOINERY DRAWINGS FOR SIZES.



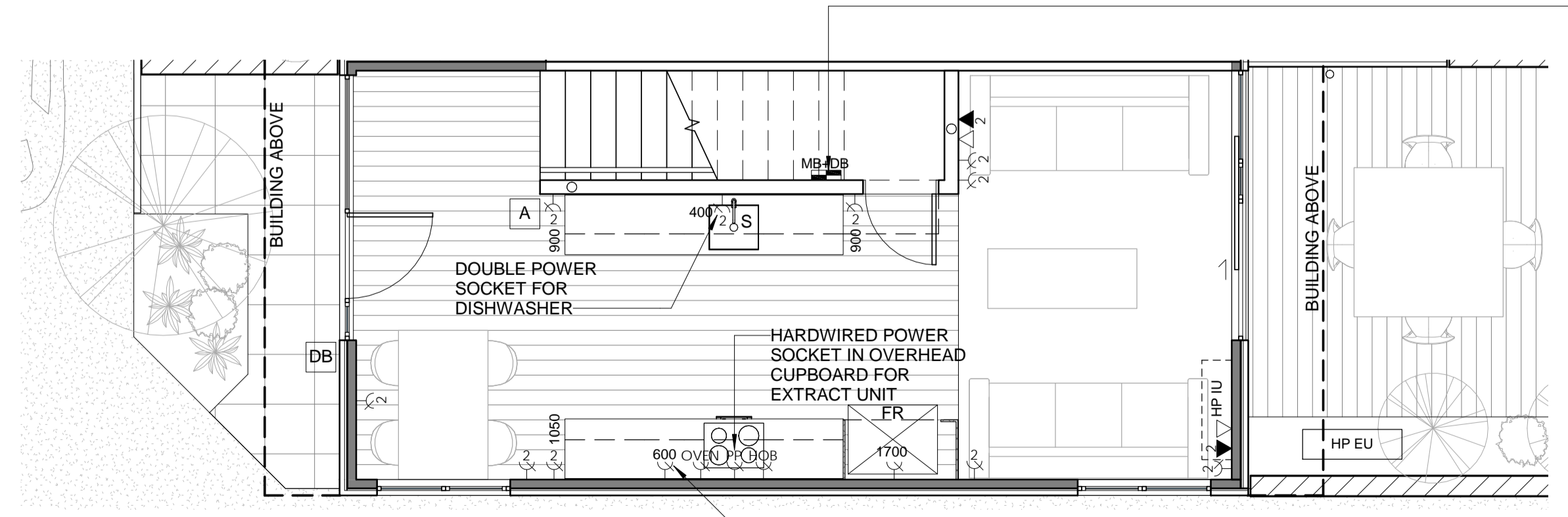
1 GROUND LEVEL ELECTRICAL PLAN - UNITS 5-9
1:50



2 UPPER LEVEL ELECTRICAL PLAN - UNITS 5-9
1:50



3 UPPER LEVEL ELECTRICAL PLAN - UNITS 1-4
1:50



4 GROUND LEVEL ELECTRICAL PLAN - UNITS 1-4
1:50

SMART METER AND DISTRIBUTION BOARD WITHIN SAME CABINET. FLUSH MOUNTED DB WITH IP54 MINIMUM RATING (TUEBELS EZMP302 WITH DOOR SEAL AND SILICONE OR SIMILAR APPROVED)

HARDWIRED POWER SOCKET IN OVERHEAD CUPBOARD FOR EXTRACT UNIT

FIRE RATED FLUSH BOX. ALL PENETRATIONS TO INTERTENANCY WALLS ARE TO BE FIRE RATED TO AT LEAST EQUIVALENT WITH THE WALL SYSTEM

300 LITRE MAINS PRESSURE HOT WATER CYLINDER SECURELY FIXED TO WALL FRAMING IN ACCORDANCE WITH NZBC G12/AS1 FIG. 14

HARDWIRED POWER SOCKET FOR HWC WITH 2 SWITCHES (ONE PER ELEMENT)

150mmØ KITCHEN EXTRACT DUCTING TO HIGH LEVEL WALL GRILL

HARDWIRED POWER SOCKET FOR HWC WITH 2 SWITCHES (ONE PER ELEMENT)

FIRE RATED FLUSH BOX. ALL PENETRATIONS TO INTERTENANCY WALLS ARE TO BE FIRE RATED TO AT LEAST EQUIVALENT WITH THE WALL SYSTEM

300 LITRE MAINS PRESSURE HOT WATER CYLINDER SECURELY FIXED TO WALL FRAMING IN ACCORDANCE WITH NZBC G12/AS1 FIG. 14

150mmØ KITCHEN EXTRACT DUCTING TO HIGH LEVEL WALL GRILL

SMART METER AND DISTRIBUTION BOARD WITHIN SAME CABINET. FLUSH MOUNTED DB WITH IP54 MINIMUM RATING (TUEBELS EZMP302 WITH DOOR SEAL AND SILICONE OR SIMILAR APPROVED)

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HOUSING DEVELOPMENT

63+65 OSBORNE ST
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PROPOSED SERVICES PLANS

JOB NUMBER 1603
 SHEET ISSUE DATE 23/08/16
 SCALE AT A1 1:50

BUILDING CONSENT

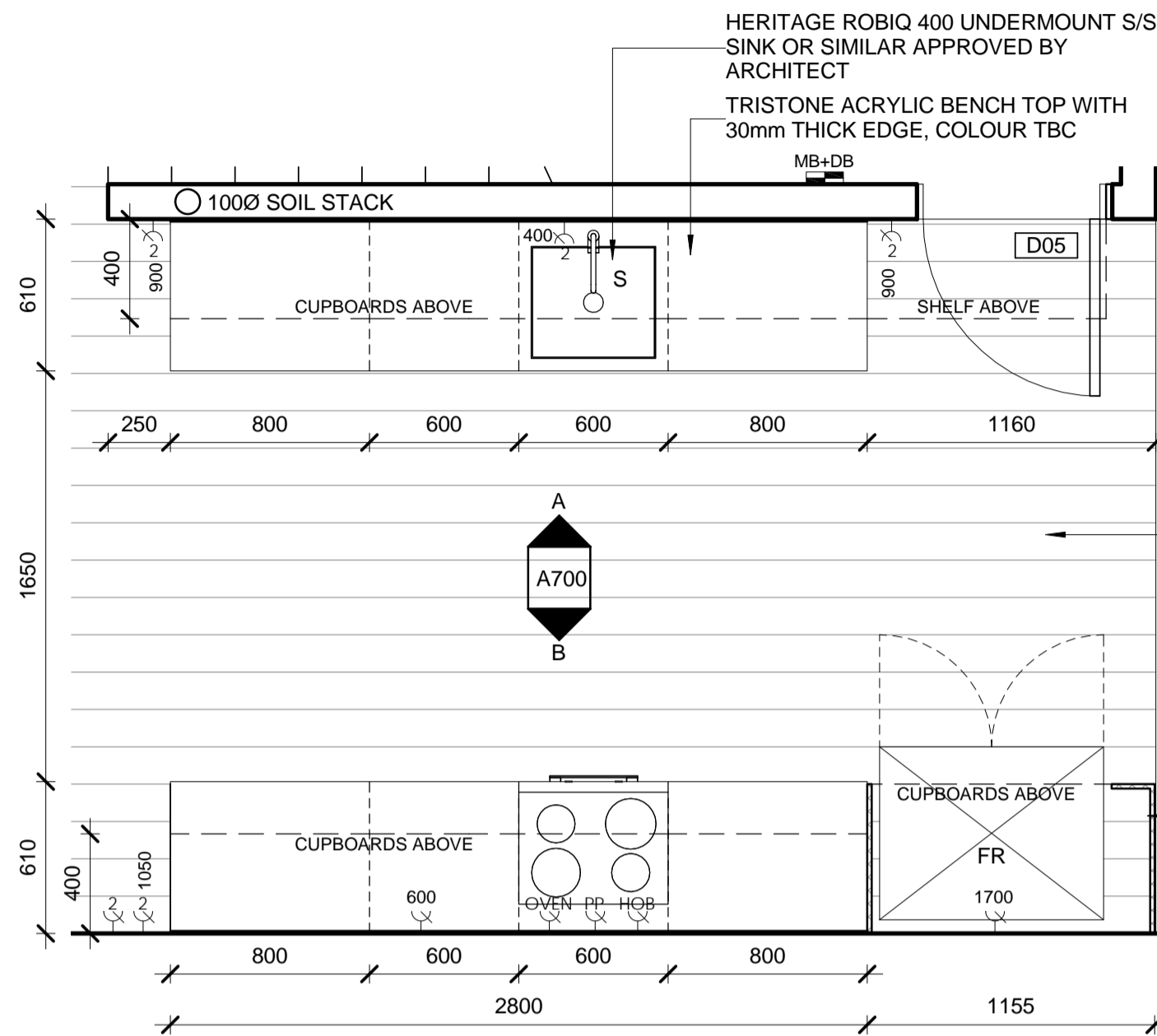
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GENERAL NOTES

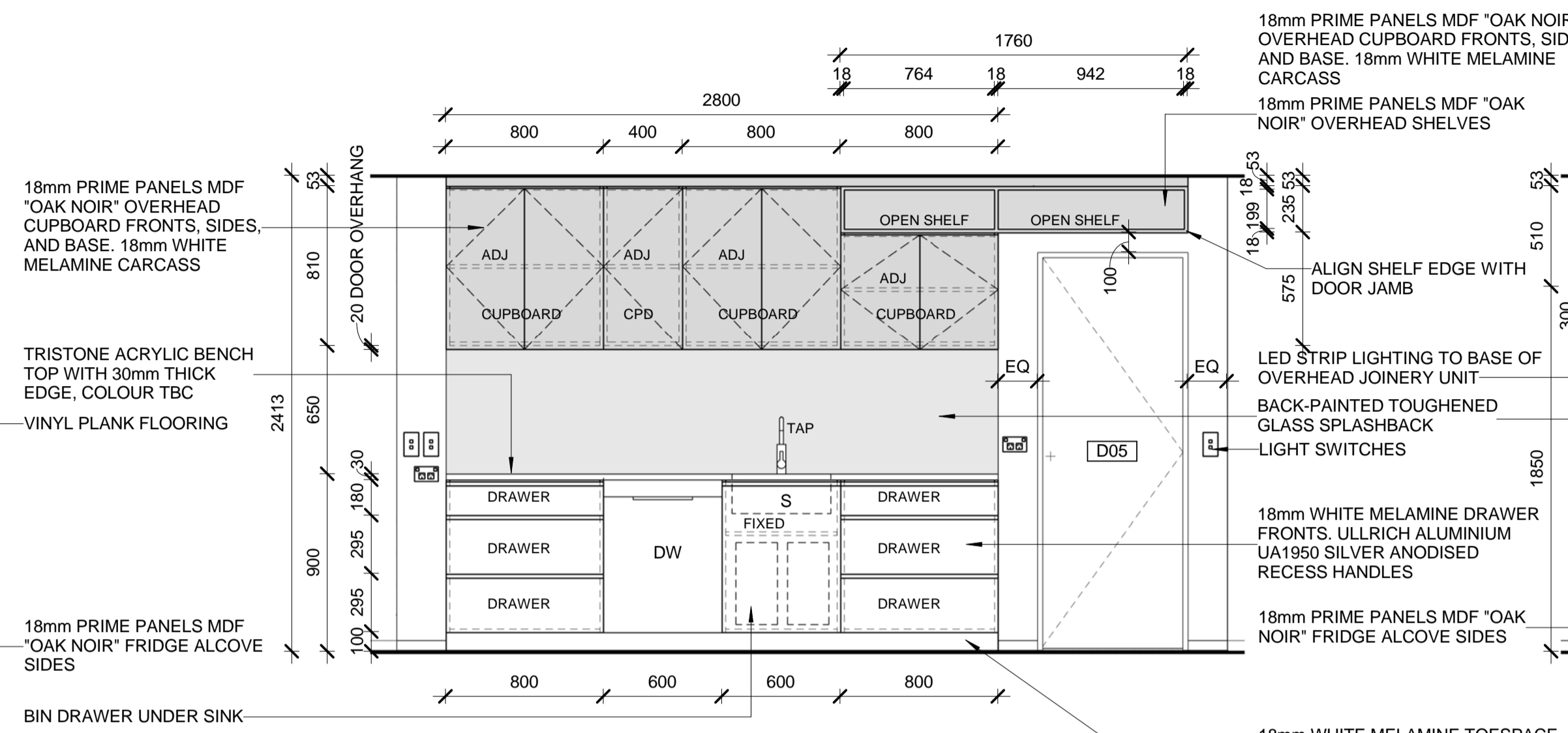
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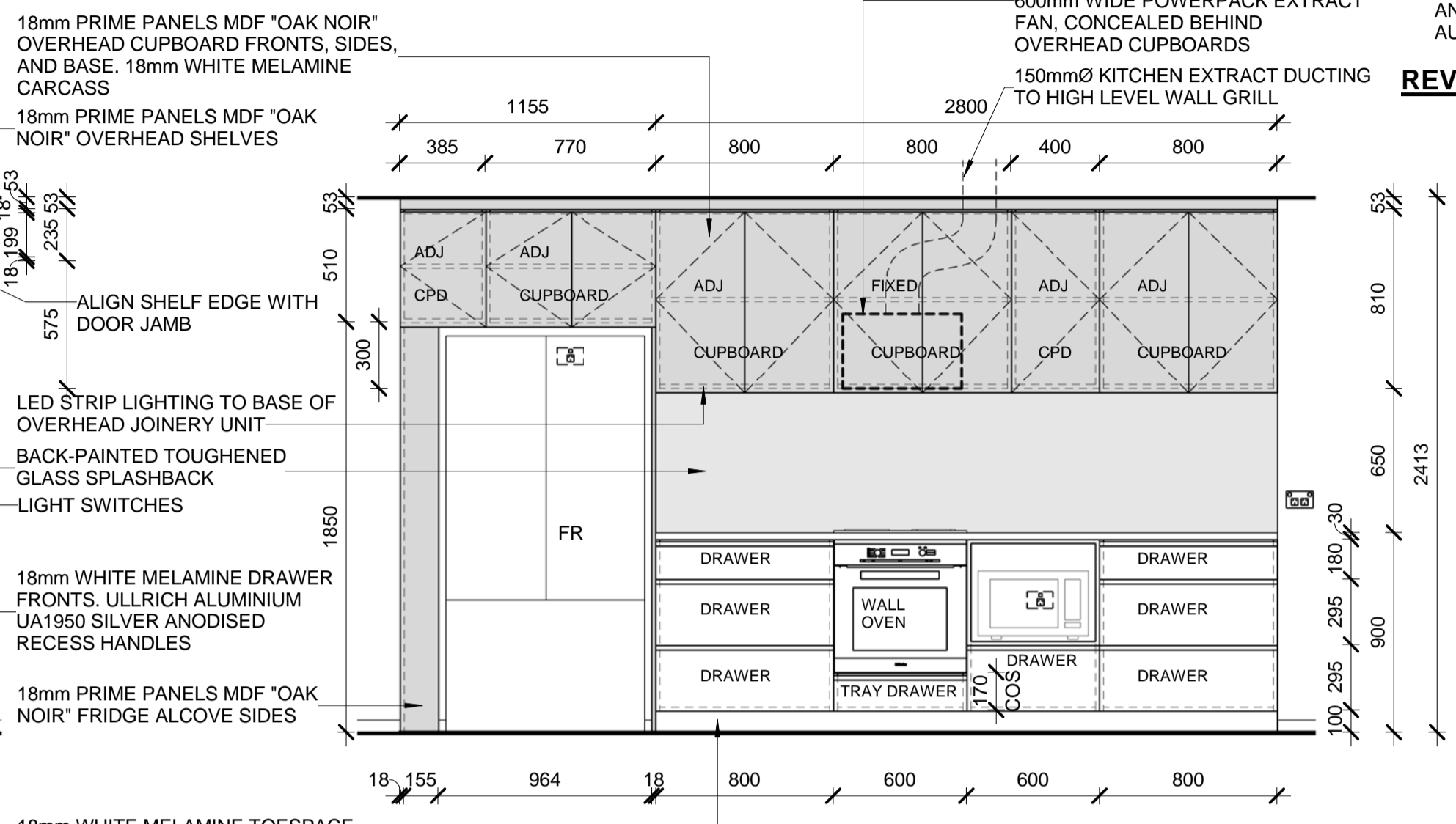
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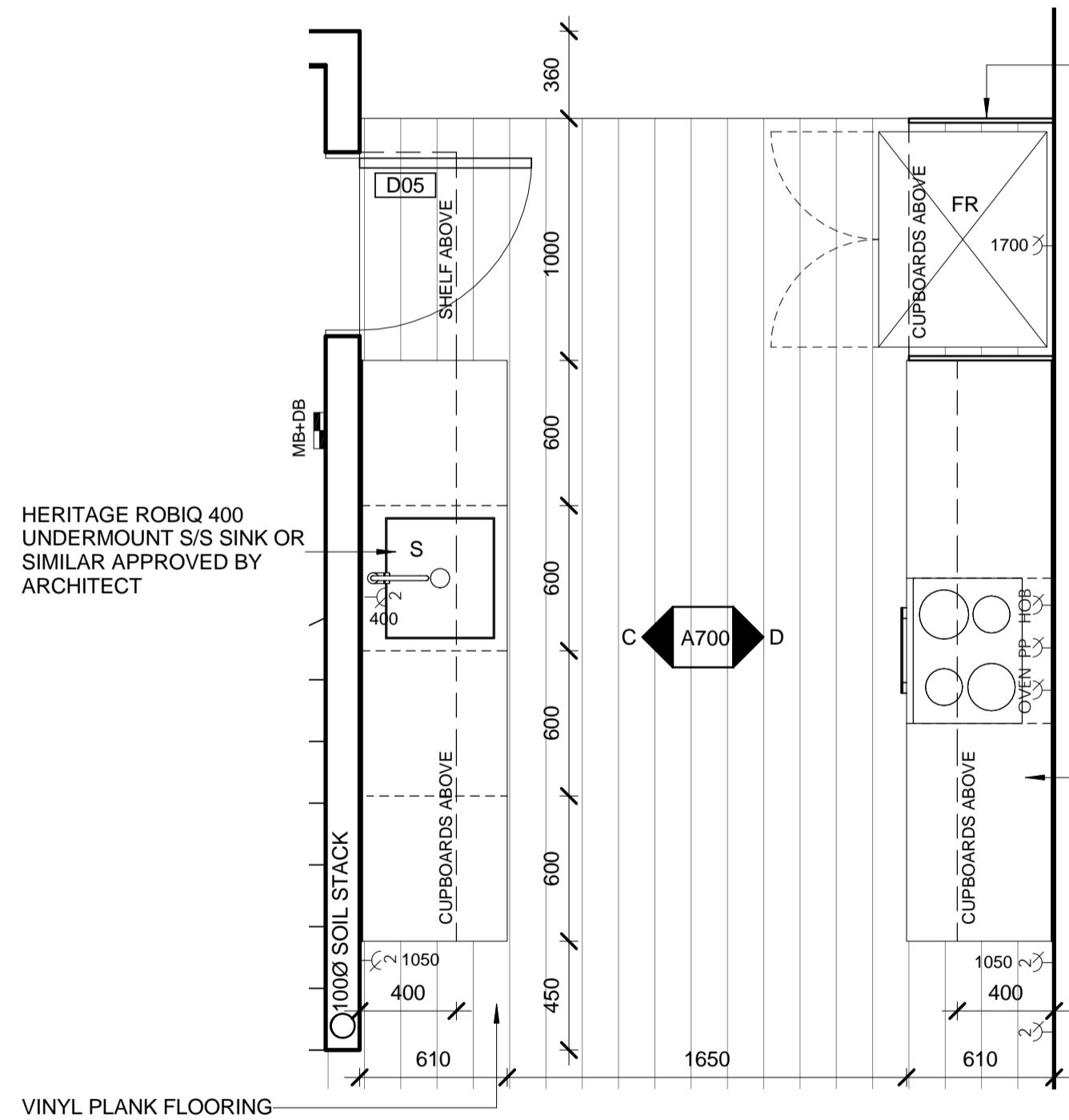
1 KITCHEN PLAN - UNITS 1-4
 1:25



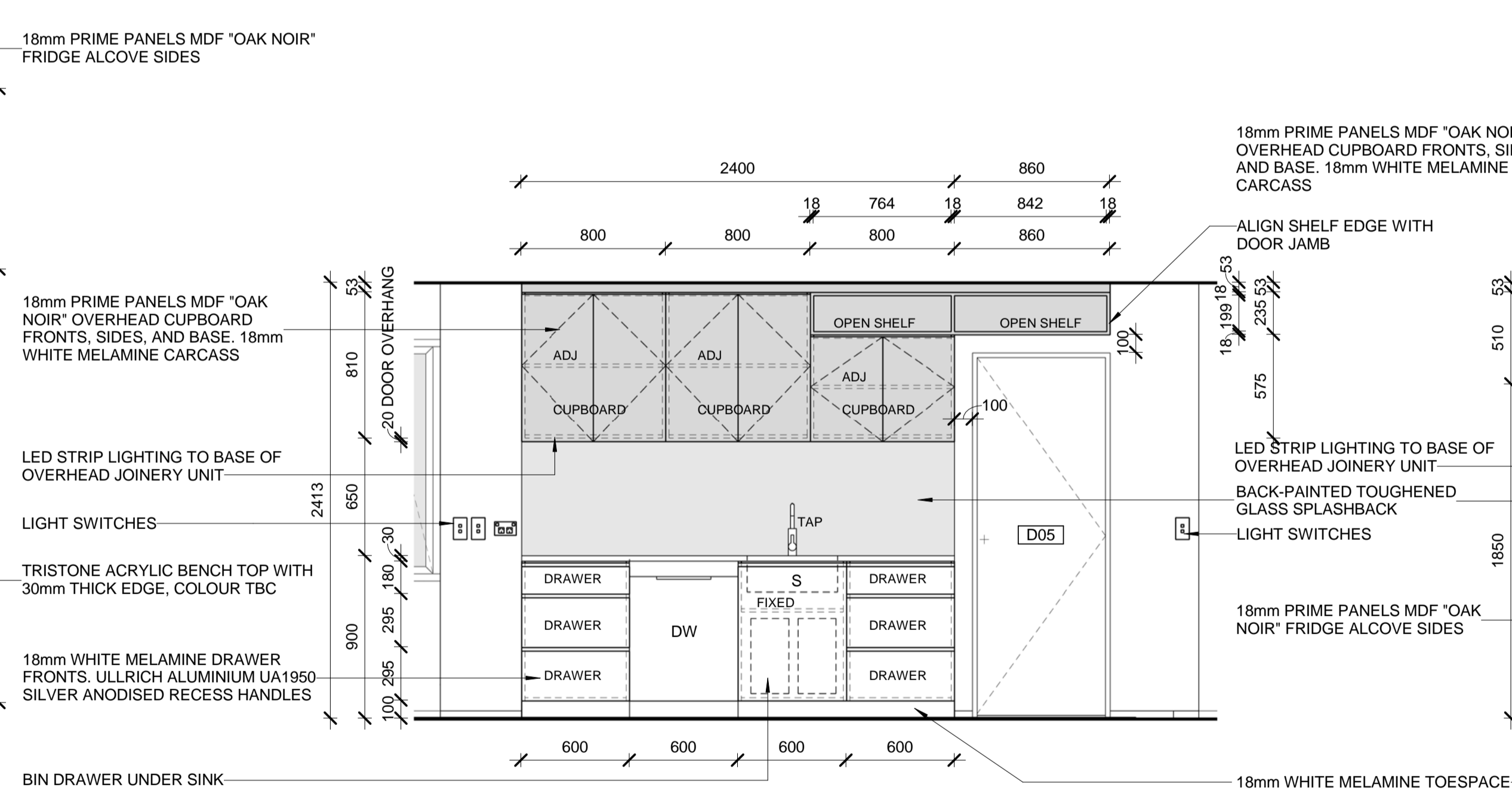
A KITCHEN ELEVATION A - UNITS 1-4
 A700 1:25



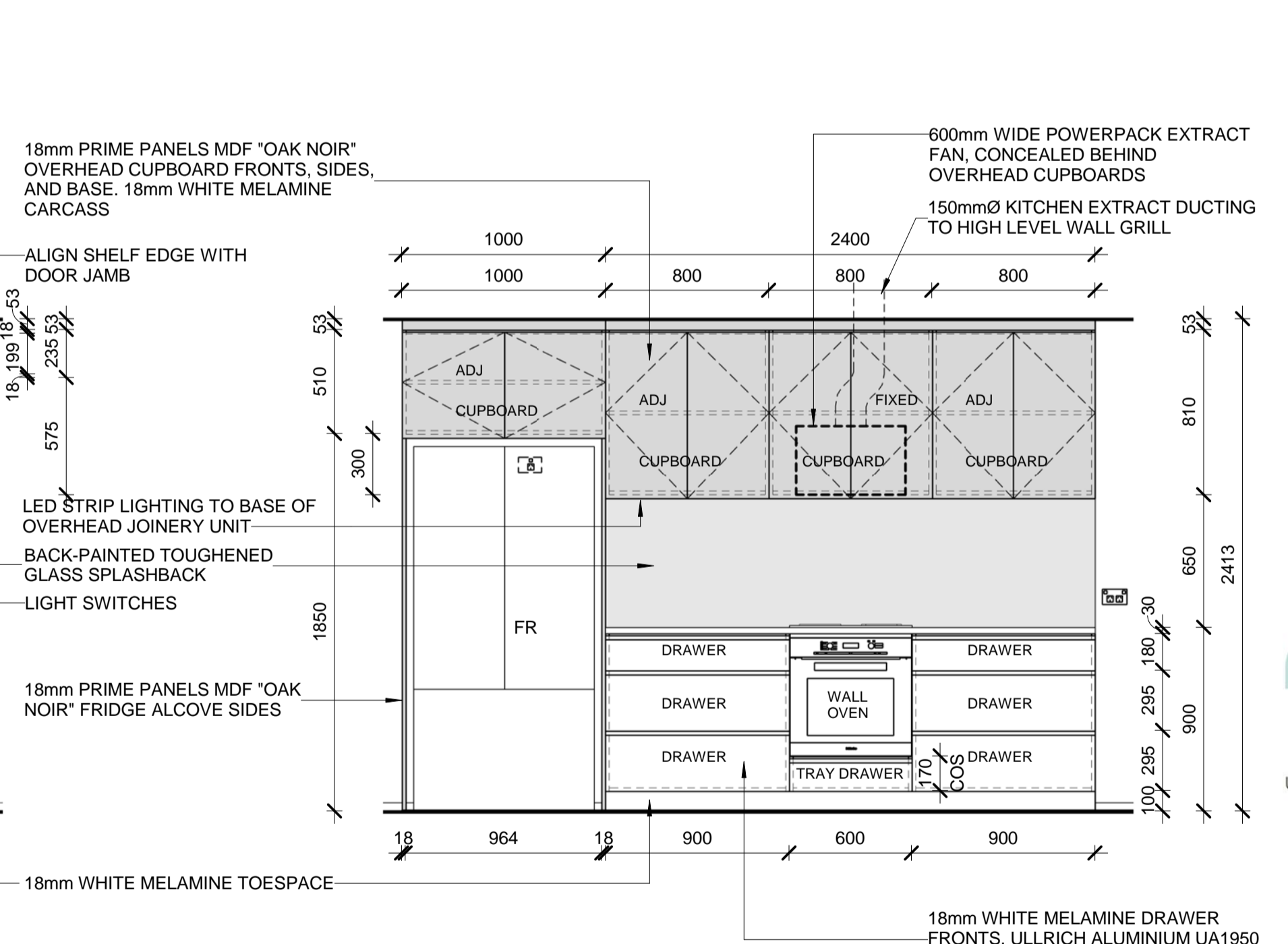
B KITCHEN ELEVATION B - UNITS 1-4
 A700 1:25



2 KITCHEN PLAN - UNITS 5-9
 1:25



C KITCHEN ELEVATION C - UNITS 5-9
 A700 1:25



D KITCHEN ELEVATION D - UNITS 5-9
 A700 1:25

PLUMBING NOTES

ALL PLUMBING FITTINGS TO BE CLIENT SUPPLIED ITEMS

KITCHEN JOINERY NOTES

HANDLES
 ULLRICH ALUMINIUM UA1950 EXTRUDED ALUMINIUM HANDLE, SILVER ANODISED FINISH
 DRAWER RUNNERS
 BLUMOTION SOFT CLOSE
 DOOR HINGES
 BLUM

HOUSING DEVELOPMENT

63+65 OSBORNE ST
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KITCHEN JOINERY

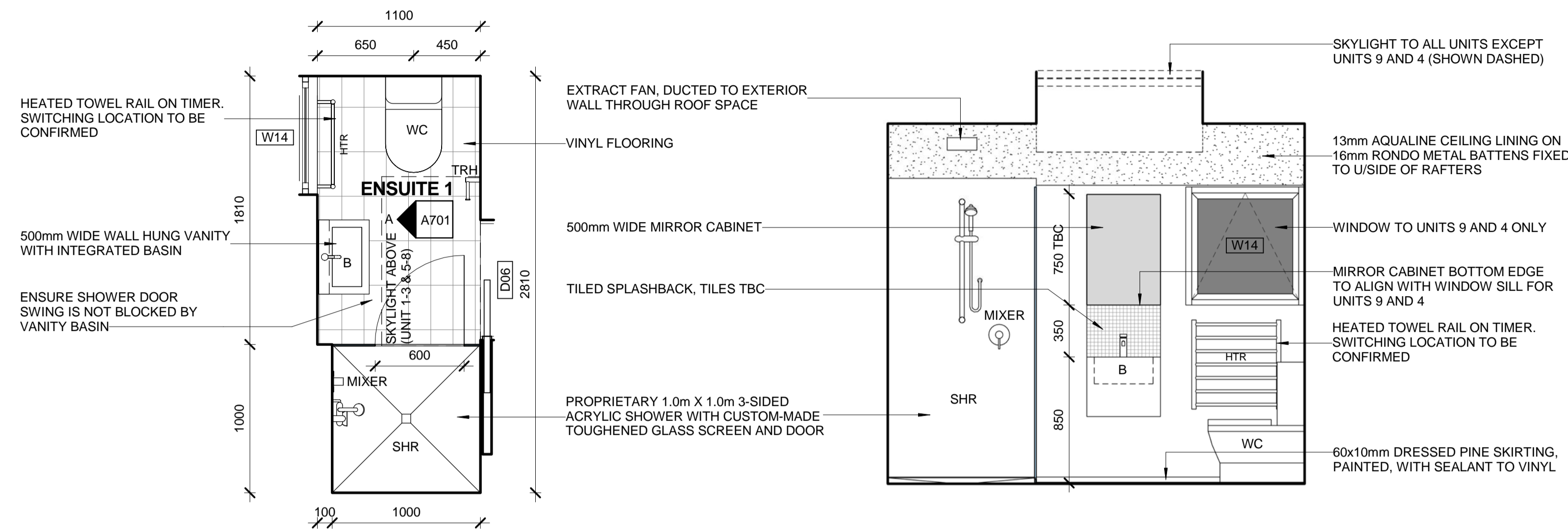
JOB NUMBER 1603
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5. ALL WORK SHALL BE CARRIED OUT BY LICENSED BUILDING PRACTITIONERS
6. THE CONTRACTOR SHALL NOT SUBSTITUTE ANY MATERIALS WITHOUT WRITTEN AUTHORITY FROM THE ARCHITECT

REVISION SCHEDULE

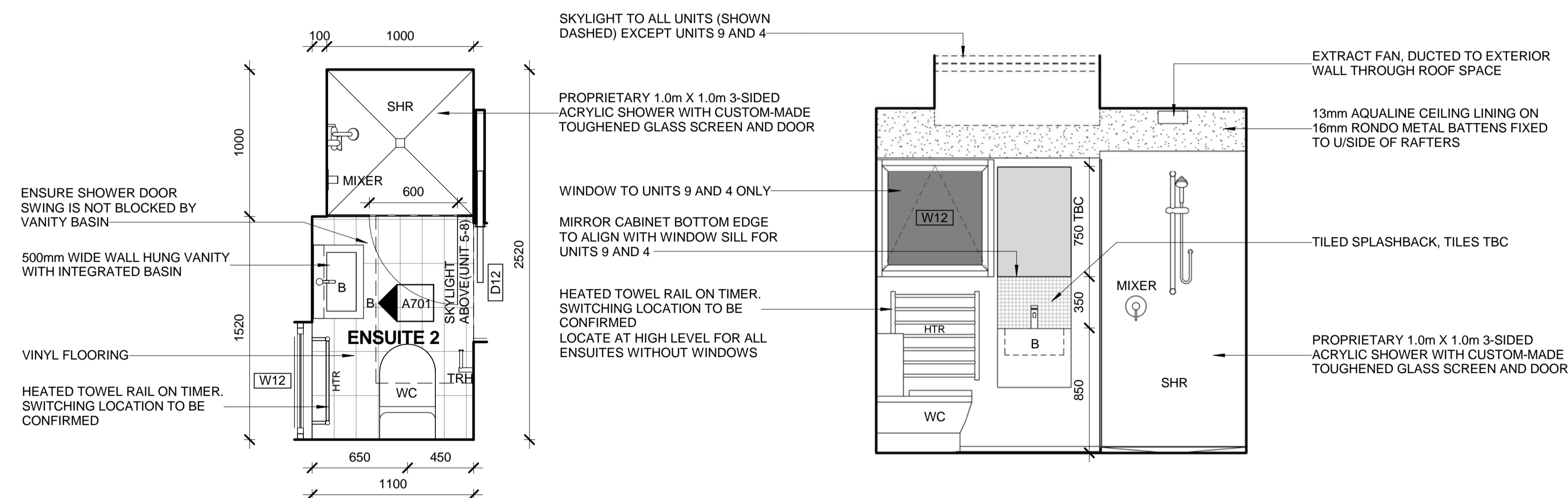
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TYPICAL ENSUITE PLAN WITH UNIT 9, ENSUITE 1 SHOWN ABOVE. UNITS 1-4 ENSUITE 2 PLAN MIRRORED

A ENSUITE ELEVATION A
 A701 1:25

1 ENSUITE PLAN (TYPICAL)
 A300 1:25



UNITS 5-9 ENSUITE 2 PLAN WITH UNIT 9, ENSUITE 2 SHOWN ABOVE

B ENSUITE ELEVATION B
 A701 1:25

2 ENSUITE 2 PLAN (UNIT 5-9)
 A300 1:25

PLUMBING NOTES

ALL PLUMBING FITTINGS TO BE CLIENT SUPPLIED ITEMS

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 P 03 943 3911 E info@collettarchitects.co.nz W collettarchitects.co.nz

HOUSING DEVELOPMENT

63+65 OSBORNE ST
 WALTHAM
 CHRISTCHURCH

ENSUITE JOINERY

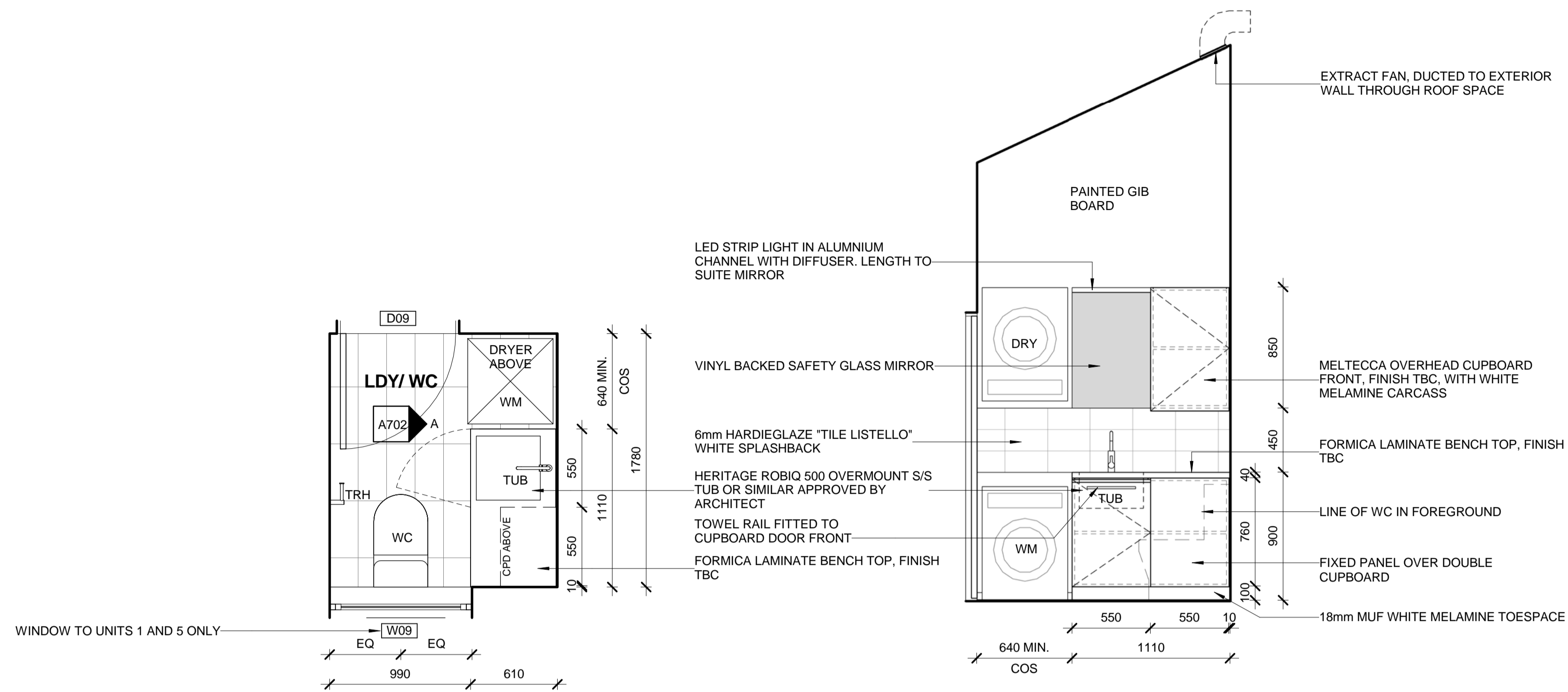
JOB NUMBER 1603
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 SCALE AT A1 As indicated

GENERAL NOTES

1. THE DRAWING IS PROTECTED BY COPYRIGHT ON SITE BY THE CONTRACTOR PRIOR TO COMMENCING WORK
2. ALL DIMENSIONS & LEVELS MUST BE VERIFIED
3. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONTINUING ASSOCIATED WORK
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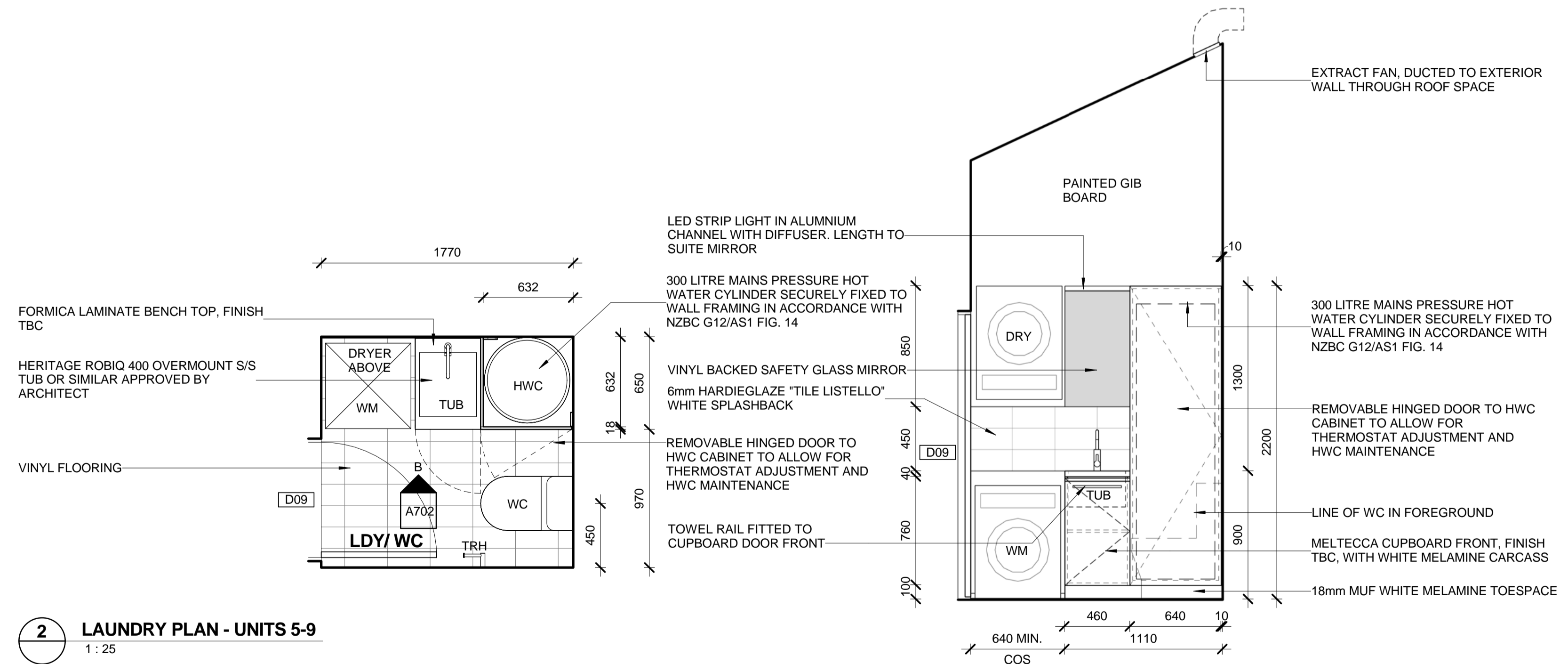
REVISION SCHEDULE

DESCRIPTION	DATE	REV
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1 LAUNDRY PLAN - UNITS 1-4
1:25

A LAUNDRY ELEVATION A
1:25



2 LAUNDRY PLAN - UNITS 5-9
1:25

B LAUNDRY ELEVATION B
1:25

PLUMBING NOTES

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