

Landuse Consent Application



SECTION 88 RESOURCE MANAGEMENT ACT 1991

Applicant Details

Full name Alan R Watson

Address of Applicant 58 Green point Rd , RD11 Invercargill 9877

Email Address* arwatson@msn.com

Contact Phone Number 0278386214

Postal Address 58 green point rd invercargill

* All Council Correspondence will be sent to the electronic address provided.

Fast Track Application

Omit this paragraph if the application does not qualify as a fast-track application under section 87AAC (controlled activity).

I opt out/ do not opt out* of the fast-track consent process.

* Select one

Locality of Activity

Address of Site to which this application applies

58 Green point Rd , RD11 Invercargill 9877

Ownership / Occupancy of Site

I am the Owner Occupier

The names and address of owner and occupier (other than applicant) of the site to which application relates.

Additional Consents

The following additional resource consents have been applied for:

Water Permit Coastal Permit Discharge Permit Subdivision Consent

Have you applied for a building consent for this project? Yes No

Description Of Activity To Which The Application Applies

Describe the activity proposed to be carried out on the site (use additional pages if necessary):

development of three self-contained accommodation units.

Environmental Effects Assessment (Fourth Schedule RMA 1991)

Assess of any effects on the environment. This section must be completed (use additional pages if necessary):

see attached assesment of affects

Declaration

- I certify that, to the best of my knowledge and belief, the information given in this application is true and correct.
- I accept that I have a legal obligation to comply with the conditions imposed on the Resource Consent, if this application be approved.
- Subject to my rights under Section 357B and 358 of the RMA to object to costs, I agree to pay all fees and charges levied by the Invercargill City Council for processing this application, including a further charge if the cost of processing exceeds the deposit paid.

Signature of Applicant or Authorised Agent

pp



(Signature is not required if the application is made by electronic means)

11/03/2021

(Date Submitted)

Send the completed application or hand in to us at:

Environmental and Planning Services
Invercargill City Council
Private Bag 90104
Invercargill
Email: ResourceConsents@icc.govt.nz



Applicant Checklist

- I have completed and signed this Resource Consent Application form.
- I have provided a full description of the activity proposed and assessment of effects.
- I have included a processing fee.
- I have included Affected Person's Written Approval forms.
- I have included a set of plans



280 Staunton rd.
Invercargill

Application for Land Use Consent

Alan Watson
58 Green Point Road, Bluff
Invercargill

March 2021
Invercargill City Council

RESOURCE MANAGEMENT ACT 1991
INVERCARGILL CITY COUNCIL
APPLICATION FOR LAND USE CONSENT

1. Alan Watson applies for the resource consent described below as the owner of the site detailed in Clause 2 below.
2. The property in respect of which the application is made is at 58 Green Point Road, Bluff, Invercargill. It is legally described as Section 69 and Pt Section 70 Block IV Campbelltown Hundred SO 4216 contained in CT SL9D/48 (**Appendix 1**).
3. The type of resource consent sought is a **discretionary land use activity**.
4. A description of the activity to which the application relates is the further development of a Site with existing consented visitor accommodation to provide three self-contained single bedroom accommodation units in accordance with the attached plans which form a part of this application.
5. We attach an assessment of any effects that the proposed activity may have on the environment in accordance with the Fourth Schedule of the Act.
6. No other resource consents are required in relation to this activity.

Richard Johnson on behalf of
Alan Watson



.....
(Signature of applicant or person authorised to sign on behalf of the applicant)

Date: 3/10/2021

Contact name and address for service:

AJ Design

Attn. Richard Johnson

Mobile 0276699986

Email ajdesign20@gmail.com

Address for Invoicing:

AJ Design

Attn: Andrew Johnson

Ph; 0274424025

E ajdesign20@gmail.com

Figures:

Figure 1: Zoning

Figure 2: The existing dwelling

Figure 3: The existing cabins

Figure 4: View of site from SH 1

Figure 5: Location for new cabins

Figure 6: Cabin elevation

Figure 7: Context for the site

Figure 8: Overview of site and gorse

Appendices:

Appendix 1: Certificate of Title

Appendix 2: Overall development concept

Appendix 3: Invercargill City Council PIM

Appendix 4: Signed Affected Persons consents

Appendix 5: Contaminated site record, Southland Regional Council

Appendix 6: Assessment of Objectives and Policies

Appendix 7: Assessment of District Plan Rules

Appendix 8: FENZ approval

RESOURCE MANAGEMENT ACT 1991

FOURTH SCHEDULE

ASSESSMENT OF EFFECTS ON THE ENVIRONMENT

INTRODUCTION

1. Section 88(2)(b) of the Resource Management Act 1991 requires that any application for a resource consent must include the information relating to the activity, including an assessment of the activity's effects on the environment, as required by Schedule 4. This shall include an assessment against the matters set out in Part 2 and any relevant provisions of a national environmental standard, other regulations, a national policy statement, a New Zealand coastal policy statement, a regional policy statement or proposed regional policy statement and a plan or proposed plan (clause 2(1) (f) and (g)).
2. The assessment of the activity's effects on the environment shall include such detail as corresponds with the scale and significance of the effects that activity may have on the environment (Schedule 4 clause 2(3)(c)).
3. The following assessment is made in accordance with the above requirements. It is the view of the applicant that the effects will be minor or less than minor, as confirmed in the following investigation and assessment.

Description of the activity

4. The activity involves the further development of visitor accommodation facilities by the construction of three new self-contained single bedroom accommodation units with associated servicing in addition to the visitor accommodation facilities consented in RMA/2017/37.
5. The overall concept is shown in **Appendix 2**.
6. The activity is a discretionary activity as confirmed in PIM/2020/3 issued by the Council on 15 July 2020.

Site description

7. Site location: 58 Green Point Road, Bluff, Invercargill
8. Zoning: Rural Zone.



Figure 1: Zoning
Site outlined in yellow

9. Planning overlays: Coastal Environment.
10. The site is 10.2105ha freehold title ('the Site').
11. The site is accessed by Green Hill Road, an unsealed Local Road.
12. The site is presently developed with:
 - a) a single residential unit of 100m²;
 - b) a garage of 72m²;
 - c) 1 x RMA consented building of 88m² floor area comprising two units;
 - d) On-site sewage disposal facility.



Figure 2: the existing dwelling



Figure 3: The existing consented 88m2 building with two units.

13. Resource consent RMA/2017/37 provided for visitor accommodation.
14. The area around the site has a number of lifestyle properties to the east and downslope from the site accessed from Green Point Road.
15. The site as a whole is not visible from the State Highway as it is located up on top of the old seacliff terrace. The existing house is visible (blue arrow) as it occupies the front edge of that terrace.



Figure 4: View of the site from SH 1
Existing house indicated by blue arrow

Site Owner

Alan Watson

43 Louisa Street

Invercargill 9810

Ph: 0278386214

E: arwatson@msn.com

Any Other activities

16. There are no other activities that are part of the proposal to which the application relates.

Any other resource consents

17. There are no other resource consents required for the proposal to which the application relates.

Affected persons consents

18. As the effects of the application are considered to be less than minor, affected persons approvals are not required.
19. In the event the Council determines there are affected persons, attached are Affected Persons Consent forms from adjoining neighbours (**Appendix 4**).

Assessment of the activity against Part 2 Resource Management Act 1991 (RMA)

20. Matters set out in Part 2 of the RMA are reflected in the objectives and policies on the Invercargill District Plan (IDP). These give effect to Part 2 and have been considered as part of this application.
21. The Invercargill District Plan was made operative on 30 August 2019. It is a competently prepared, up-to-date, district plan, with a coherent set of policies designed to achieve clear environmental outcomes that appropriately gives effect to all the higher planning instruments under the RMA. (Court of Appeal in Davidson).

Assessment of Actual and Potential Effects

22. The primary actual and potential effects arising from the development of three cabins on a site that already has a dwelling, a garage, and a stand-alone RMA consented two unit visitor accommodation cabin are considered to be: visual amenity and quality of the environment, noise, building height, vehicle access, servicing and natural hazards.

Visual amenity

23. Visual amenity within the Coastal Environment is an important consideration and the proposed location, layout and size of the three cabins means that there will be little visual amenity effect on the surrounding area. The proposed cabins are:
 - a) stepped out in a NW-SE alignment from the existing visitor accommodation building and north-west of the existing dwelling;
 - b) single storey (max height 3.4m) with conventional low pitched roofs;
 - c) very small at 56m² each (compared to the existing 88m² building with two units);
 - d) set back between 21m – 33m from the Site boundaries;
 - e) to be finished in recessive colours;
 - f) not visible from neighbouring properties, Green Point Road or the State Highway.
24. The development of three small self-contained cabins will not result in adverse effects on visual amenity in the area, nor affect the quality of the environment for neighbouring sites.

25. Any visual amenity effects will be less than minor.



Figure 5: Location of proposed new cabins looking south to existing visitor accommodation unit. Existing 88m² building in background.

Right hand image of proposed cabins.

Noise

26. The proposed activity will not result in adverse noise effects on the neighbouring area. The proposed activities are to be located to the north of the existing dwelling, about 50m away from the neighbouring landowners who are positioned downslope below the terrace.
27. The applicant lives on site and so there is a degree of oversight and custodial management of activities on the Site.
28. The proposed activities are low key in nature, will not be permanently tenanted, and of a small scale providing one-bedroom units.
29. Any noise effects will be less than minor.

Height

30. The District Plan allows a maximum height of 10 metres in the Rural Zone (RURZ-R12).
31. The cabins are single storey and easily comply with these maximum height requirements at their proposed 3.391m height. They are small scale and not visible from the east.

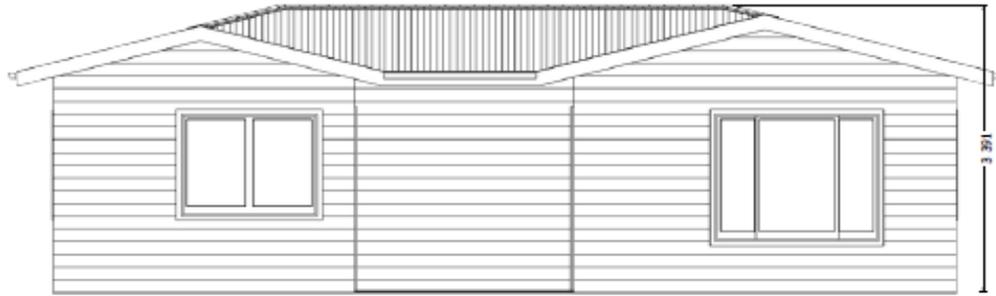


Figure 6: Cabin elevation showing height of 3.391m

32. There will be no adverse effects arising from the height of the new cabins.

Vehicle access and movements

33. The new cabins will utilise the existing access for the property off Green Point Road.
34. This is a well formed access and is fit for purpose in its gravelled formation.
35. No new accessways will be required to be constructed as a result of the activity. Green Point Road is an unsealed 100 km/hr rural road.
36. There will be a marginal effect on the State Highway and Green Point Road with only limited additional traffic in addition to the existing house and the two unit cabin. Those permitted and consented activities have the potential to create between 4-6 vehicle movements per day each totalling between 12-18 vehicle movements with the lower end number most likely.
37. The additional three cabins may add up to a further 12 movements (on the basis that many visitors will arrive in the evening and depart in the morning for overnight stays in two movements, or departing on day trips creating four trips per day for extended stays) creating an overall vehicle movement of up to 24- 30 movements per day for the Site as a whole.
38. Overall the number of vehicle movements are well within the capacity of Green Point Road and are most likely to comprise cars, unlike the type of vehicles that can be generated by rural properties such as trucks.
39. The potential effects on a local road are less than minor.

Car Parking

40. Car parking will be provided on site, adjacent to each cabin. It is not proposed to mark the car parks for the cabins to assist in minimising hard standing areas and any formalisation of the site.

41. It is sufficient, given the low density of uses on the Site, for a low key, informal allocation of dedicated car parks for each unit.
42. The Site Plan (**Appendix 2**) shows indicative locations for each car park.
43. There are no adverse effects arising from the provision of informally marked out car parks.

Services

Water

44. There are two existing 25,000 litre water tanks on the property as shown on the enclosed site plan. These currently serve the existing dwelling and are used for the first two cabins as well. A pump has been installed in order to provide water for the units.
45. Additional water tanks are proposed as shown on the overall development concept including provision for firefighting purposes.
46. The applicant has secured advice from FENZ that his proposal for firefighting satisfies its requirements (**Appendix 8**).

Sewage

47. The site has suitable area and topography to allow for the on-site disposal of wastewater.
48. There is an existing septic tank and disposal field on site as shown on the enclosed site plan. This system serves the existing dwelling and the existing consented cabins. The system has been suitably sized to provide for both the dwelling and the cabins. The system specifications were provided and approved as part of RMA/2017/37.
49. The same configuration of on-site septic tank and disposal field system will be replicated to service the three new cabins and located as shown on the site Plan (**Appendix 2**).
50. The proposed system can be evaluated and consented as part of any building consent application.

Power and telecommunications

51. The property has existing power and telecommunications connections.

Summary of Servicing Effects

52. The three new cabins are capable of being serviced in a manner similar to the existing cabins and dwelling.
53. No servicing issues have arisen to date, and none are expected in the future with the three additional cabins.
54. No adverse effects from the proposed servicing are expected.

Natural hazards

55. The site is identified as being within an area of Weak Rock by the Seismic Hazard Information Map 36 - Amplification Susceptibility, of the District Plan.
56. The site is identified as being within an area of negligible liquefaction susceptibility by the Seismic Hazard Information Map 37- Liquefaction Susceptibility, of the District Plan.
57. The site is not identified in the District Plan as being subject to any other natural hazards.
58. No adverse effects arising from natural hazards are expected.

The Operative Invercargill District Plan

59. Assessment of the application against relevant built form standards of the Invercargill District Plan was undertaken as part of a PIM application 2020/3 issued on 15 July 2020 (**Appendix 3.**)
 2. Resource consent required
The property has a resource consent in 2017, RMA/2017/37, for visitor accommodation. However, the scale of the new proposed development is major. The proposed project contains adding visiting accommodation, restaurant, and other recreational activities that needs to be processed in a new resource consent. The proposed activities are discretionary.
60. That PIM was issued for a much bigger proposed development that has now been scaled down significantly with only the three new cabins still part of that original PIM application.
61. The PIM's assessment and conclusion are still valid for the visitor accommodation elements.
62. Visitor accommodation is not listed as a permitted activity in the Rural Zone. It is listed at RURZ-R2 as a discretionary activity.

Assessment Against District Plan Part Three - Rules

63. A detailed assessment against the District Plan rules and plan standards is at **Appendix 7**. The assessment is approached on the basis that a certain level of activity and built form was consented by RMA /2017/37. That consent authorised:

...the construction of a building with a floor area of 88m² and consisting of two one-bedroom units with ensuites for use as visitor accommodation. The accommodation will be available year-round and will be run by the occupants of the existing dwelling on the site. The total maximum occupancy of the units will be four people.

64. The assessment shows that with respect to Part 3 - District Plan rules there is no non-compliances with those standards.
65. A key matter is that there is no use in the proposal that falls within the definition of “residential unit” (undefined in the District Plan) nor within the definition of residential activity as that is defined as *the use of land and buildings by an individual, a family unit or a group of unrelated individuals living together in a single household which is self-contained in respect of sleeping, cooking, dining, bathing and toilet facilities...* (emphasis added).
66. The proposed cabins simply do not qualify as residential on the basis of the definition, and are quite distinct to the dwelling that is on the site; the proposed cabins are visitor accommodation, are on a fee paying basis, and are for usually short terms. The proposed cabins are one bedroom, self-contained with en-suites and kitchens and bathroom facilities. They will accommodate two people.
67. This is a big site. It is about 10ha and so there is ample space to meet siting and distance standards; the size of the site, and the location of these three cabins well off boundaries, in itself mitigates against any off-site effects. Additionally the site is elevated above adjoining properties and so there is minimal (if any) effect on those properties other than for passing traffic on Green Point Road (**Figure 7**).

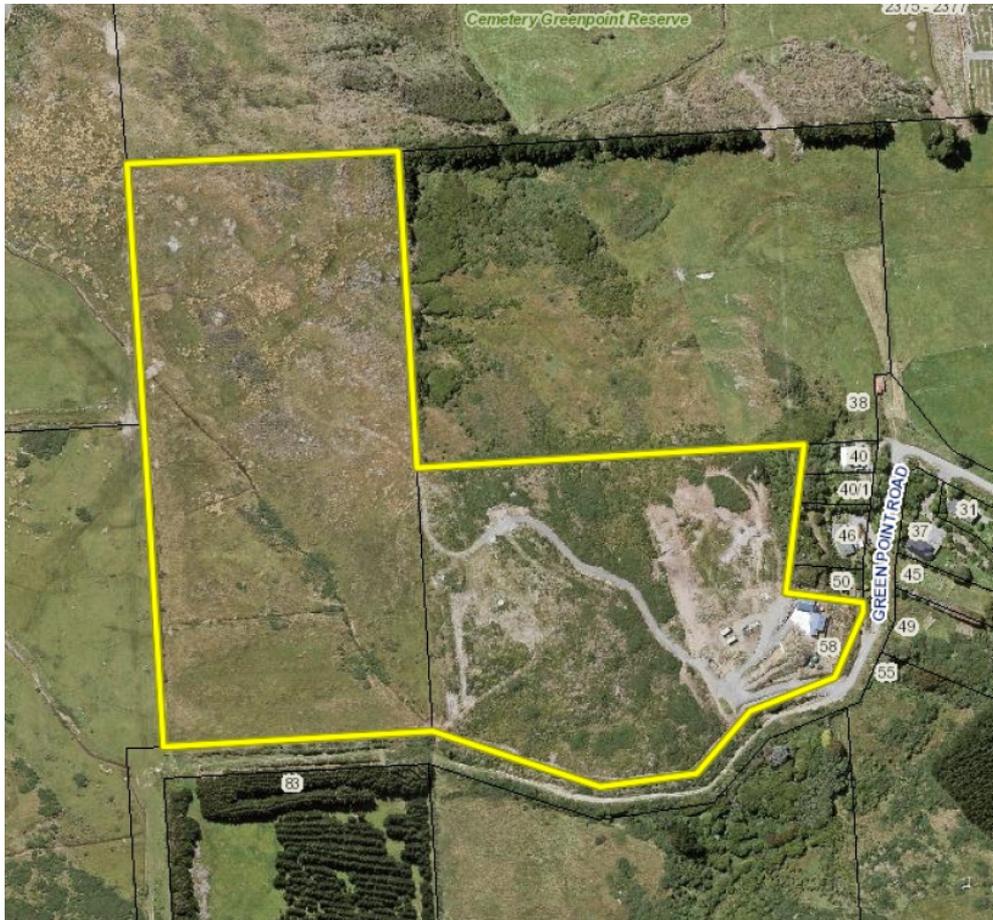


Figure 7: Context for the site

District plan objectives and policies

68. A detailed assessment against the District Plan Objectives and Policies is at **Appendix 6**.
69. The assessment confirms that the proposal is entirely consistent with those wide ranging matters. The proposal is entirely in accordance with the District Plan objectives and policies.
70. The Overview of the Rural Zone notes:

The Rural Zone provides for rural activities such as agriculture, horticulture and forestry and residential activities on larger land allotments that are of sufficient size to effectively deal with the disposal of wastewater on-site, and give a character of openness to the zone. As such it comprises a dynamic working environment within which productive primary use is the dominant land use. The Rural Zone contains higher quality and versatile soils, particularly in the north, for which it is desirable to keep options open for productive rural activities. Non-rural land use activities are not always compatible with rural primary production activities and can give rise to reverse sensitivity effects and limit the productivity of rural land.
71. In many respects the applicant's proposed use, and development, of the site "rescues" an orphan site that has little conventional rural productive activity potential because of its ground conditions, its poor soils and the general wetness of much of

the site. The proposal has the potential to generate a level of income to support the applicant's intention of restoring the indigenous vegetation, control weed growth, and enhance biodiversity values through that planting and through the creation of wetlands. None of those activities require consent (**Figure 8**).



Figure 8: Overview of site and gorse

72. Certainly there is nothing in the proposal that creates off-site issues, limits the use of adjoining land, and being mostly self-contained for services it will not be a draw on reticulated services other than power and telecommunications.
73. As a Rural Zone Site there is the potential for a wide range of permitted activities that have the potential to have a greater potential effect than what will arise from the three cabin proposal, even when added to the consented two-unit cabin. That was recognised in the original PIM application that was a precursor for RMA /2017/37.

Assessment of Fourth Schedule Matters

74. Clause 6 of the Fourth Schedule RMA requires specific consideration of other matters. These are dealt with here.
 - a) The assessment shows there are no significant adverse effects from the proposed activity. It follows that there is no need to consider any "*possible alternative locations or methods for undertaking the activity.*" (Clause 6 (1)(a) Fourth Schedule).
 - b) An assessment of the actual and potential effects on the environment of the activity as directed by the matters of discretion is provided at paras 22 – 54 of this

application as a summary of the Appendix 6 assessment (Clause 6 (1)(b) Fourth Schedule).

- c) There are no hazardous installations involved (Clause 6 (1)(c) Fourth Schedule).
- d) There are no discharges of contaminants (Clause 6 (1)(d) Fourth Schedule).
- e) The mitigation measures proposed to help prevent or reduce the actual or potential effects of the proposal lie with the size of the site, its position on top of a terrace, and the relatively low density of activity within the 10ha.
- f) Identification of the persons affected by the activity. Notwithstanding that the effects of the proposal are less than minor and there are no affected persons, two adjacent land owners have signed affected persons consents forms (**Appendix 4**).
- g) The significance of the activity's effects do not merit any monitoring of effects (Clause 6 (1)(g) Fourth Schedule).
- h) The activity will not have any adverse effects on the exercise of a protected customary right, and so no alternative locations or methods for the exercise of the activity are required (Clause 6 (1)(h) Fourth Schedule).

CONCLUSION

- 75. This proposal involves a small addition to the activities consented by RMA/2017/37 to provide three single bedroom, self-contained cabins on a site with distinctive characteristics in the Rural Zone.
- 76. Visitor accommodation is managed in the Invercargill District Plan mainly through its classification as a discretionary activity, enabling specific consideration of the scale, nature and intensity of the activity within its zone and site context. It is a permitted activity only in the Business 1 and Business 2 Zones.
- 77. The non-compliance relates to the visitor accommodation activity as a whole. It is a land use not provided for in the Rural Zone as a permitted activity. That zone has as its focus conventional productive rural activities and the protection of the potential for the zone for agricultural purposes. The proposal is otherwise entirely in accordance with the District Plan objectives and policies.
- 78. Overall, the proposal is very small scale and quite low key; it is low impact both visually and from an amenity viewpoint. The assessment shows less than minor, if any, adverse effects off-site. It will result in only a minor increase in the scale and intensity of activities on the Site additional to those consented by RMA /2017/37.
- 79. As a Rural Zone Site there is the potential for a wide range of permitted activities that have the potential to have a greater potential effect than what will arise from the three cabin proposal, even when added to the consented two-unit cabin. That was recognised in the original PIM application that was a precursor for RMA /2017/37.

80. Use, development and change is a feature of all zones. Land owners are able to use sites for permitted activities without reference to neighbours; landowners are able to seek consent for activities for a wide range of uses. In this case what is being applied for builds on the existing consented activity at a scale and intensity where any effects are proportionate to that scale and intensity and without significantly undermining or changing the existing environment.
81. It will provide for the well-being of the applicant and enable him meet his specific needs by creating an activity that will provide income support to his environmental enhancement objectives for the site.
82. The proposed activity will achieve the purpose of the Resource Management Act 1991 by allowing development and appropriate use of a distinctive rural site. It will not undermine the resource management outcomes being sought by the operative Invercargill District Plan.
83. Consent can be granted.

ENDS

Appendix 1: Certificate of Title



RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy



Identifier **SL9D/48**
Land Registration District **Southland**
Date Issued **11 December 1990**

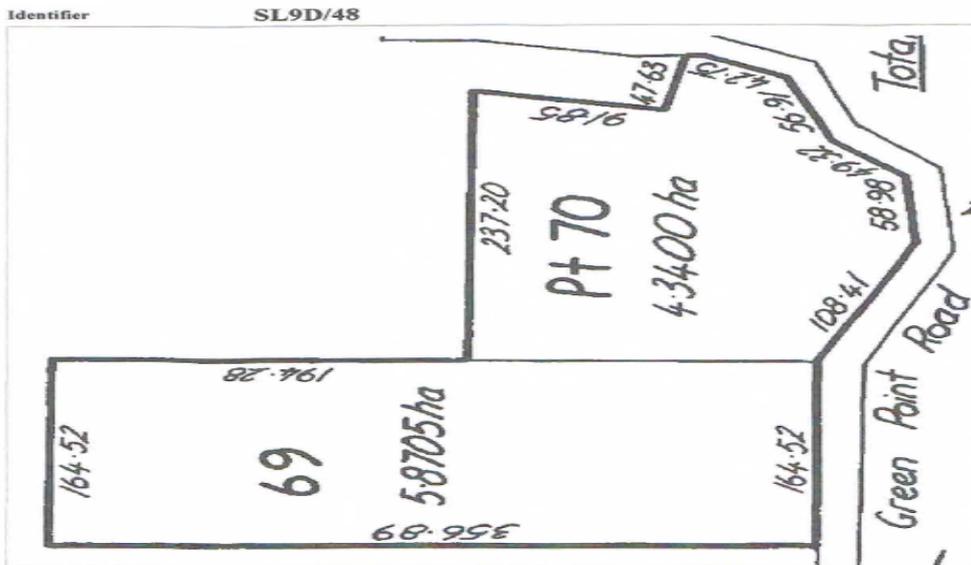
Prior References
SL198/62

Estate Fee Simple
Area 10.2105 hectares more or less
Legal Description Section 69 and Part Section 70 Block IV
Campbelltown Hundred

Registered Owners
Alan Roy Watson

Interests

Subject to Section 59 Land Act 1948
8794286.1 Mortgage to ANZ National Bank Limited - 20.6.2011 at 9:33 am



Appendix 2: Overall development concept



Sheet #	1
Drawn By:	aj design
Date:	16/02/2021
Scale:	NTS
project:	Green Point Holiday Park 58 Green point Road Bluff
part site plan	
Rev.	

Appendix 3: Invercargill City Council PIM

FORM 4



CERTIFICATE ATTACHED TO PROJECT INFORMATION MEMORANDUM

Section 37, Building Act 2004

PIM Number:	PIM/2020/3	Street Address:	58 Green Point Road, INVERCARGILL
Building Consent:	N/A	Legal Description:	Sec 69 Blk IV Campbelltown Hundred SO 4216, PT Sec 70 Blk IV Campbelltown Hundred SO 4216
Applicant Name	Alan Roy Watson		

RESTRICTIONS ON COMMENCING BUILDING WORK UNDER THE RESOURCE MANAGEMENT ACT 1991

The building work referred to in the attached Project Information Memorandum is also required to have the following Resource Consents under the Resource Management Act 1991:

The property has a resource consent in 2017, RMA/2017/37, for visitor accommodation. However, the scale of the new proposed development is major. The proposed project contains adding visiting accommodation, restaurant, and other recreational activities that needs to be processed in a new resource consent. The proposed activities are discretionary.

As these Resource Consents will or may materially affect the building work to which the attached Project Information Memorandum relates, until they have been granted no building work may proceed

Failure to comply with the requirements of this notice may result in legal action being taken against you under the Resource Management Act 1991.

Signature

Position: Manager Building and Planning

On behalf of: Invercargill City Council

Date: 15 July 2020

Affected Person's Written Approval



SECTION 95E(3) RESOURCE MANAGEMENT ACT 1991

Please read the information on the back of this page before signing

I (full name):

being the Owner and Occupier Owner Occupier

of the property situated at (address of your property):

Green Point Road, Bluff

I have the authority to sign on behalf of all other owners occupiers of the property.

This is written approval for (describe proposed activity):

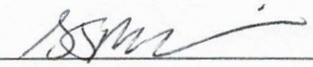
The development of 3 x single bedroom, single storey 57m2 cabins as visitor accommodation as a discretionary activity under the Invercargill City District Plan.

Which will be carried out at:

58 Green Point Road, Bluff

- I understand the proposal and have seen and signed a copy of the plans and/or the supporting information.
- I understand that if I give my approval, the Council cannot take into account any effect that the activity may have on me, when it considers the application.
- I understand that at any time before the application is finalised, I may give notice in writing to the Council that this approval is withdrawn, under S104(4) of the Resource Management Act 1991.

If the consent authority determines that the activity is a deemed permitted boundary activity under section 87BA of the Act, your written approval cannot be withdrawn if this process is followed instead.

Signed: 

Date: 03/03/2021

Signature of person giving written approval (or person authorized to sign on behalf of person giving written approval. (A signature is not required if you give your written approval by electronic means but the plans must be signed).

Email Address: stwmac39@gmail.com

Contact Phone Number: 02102439015

Postal Address: 50 Green Point Rd, Greenpoint, Invercargill 9877

Note: If signing on behalf of a trust or company please provide additional written evidence that you have signing authority.



Appendix 5: Southland Regional Council SLUS assessment

From: **Alex Loimaranta** <Alex.Loimaranta@es.govt.nz>
Date: Wed, 5 Aug 2020 at 09:35
Subject: SLUS Query - 58 Greenpoint Road, Bluff
To: Andy Johnson <ajdesign20@gmail.com>
Cc: Leonie Grace <Leonie.Grace@es.govt.nz>

Hi Andy,

Thank you for your request for information relating to 58 Greenpoint Road, Bluff.

I can advise that Environment Southland does not hold a record of hazardous activity on the subject property and the property is not currently registered on Environment Southland's Selected Land Use Sites (SLUS) register.

Please note however that our records are incomplete and due to the rural nature of the site we are unable to rule out the likelihood of historical rural activities including the operation of spray races or livestock dips, storage of agrichemicals and fuels, and/or disposal of wastes.

Regards,

Alex Loimaranta

Land Sustainability / Pollution Prevention Officer (FT)
Environment Southland *Te Taiao Tonga*

P 03 211 5115

Cnr Price St & North Rd, Private Bag 90116, Invercargill 9840

Alex.Loimaranta@es.govt.nz | www.es.govt.nz | facebook.com/enviromentsouthland

Appendix 6: Invercargill City Plan Objectives and Policies Assessment

Energy	
Objectives	Assessment
ENE-O6 Building design and development takes into consideration energy efficiency and conservation.	See below.
Policies	
ENE-P1 Efficiency and Conservation: To promote energy efficiency and conservation through subdivision and building design and development.	The development takes advantage of its elevated site and orients the buildings to use passive solar heating. The buildings will comply with NBS for insulation.
Infrastructure	
Objectives	Assessment
INF-O3 Existing infrastructure is sustainably managed and protected from incompatible subdivision, use and development.	The site only uses access to the State Highway. All water services are sourced and managed on-site. There is existing power and telephone to the Site.
Policies	
INF-P3 Reverse Sensitivity: To protect local, regional and national infrastructure from new incompatible subdivision, land uses and development under, over or adjacent to the infrastructure.	There is no affected infrastructure. The scale of the proposal does not adversely affect local infrastructure.
TRA-P4 Standards: To set development standards for vehicle access, loading, parking and manoeuvring facilities.	The development will comply with access, parking and manoeuvring standards. The Site is over 10 ha with ample on-site space. Existing gravelled access and turning areas are provided. Informal dedicated parking spaces for each of Units 3-5 will be provided (marked blue on site plan Appendix 2).
TRA-P5 Adverse Effects: To manage subdivision, use and development adjacent to transport infrastructure in such a way as to avoid, remedy or mitigate potential effects, including reverse sensitivity effects on transportation infrastructure.	The site is at the end of Green Point Road which has its access on to the State Highway. The scale of the development (3x new cabins generating 6-12 additional vehicle movements/day) will not adversely affect the local road, nor the intersection with the State Highway. No upgrade of Green Point Road will be required.
Transport	
Objectives	Assessment
TRA-P3 Roading Hierarchy: To have regard to the Council's Roading Hierarchy when considering subdivision, use and development of land.	The site is suitably served by a local road, Green Point Road, which has the road geometry and dimensions to service the 3 x cabin development without any upgrade.
Contaminated Land	
Objectives	Assessment

<p>CL-O1 Land that is affected by soil contamination is identified, monitored and managed.</p> <p>CL-O2 The adverse effects of contamination on subdivision, use and development of contaminated land are remedied or mitigated</p>	<p>See below.</p>
<p>Policies</p>	
<p>CL -P4 Human Health: To manage the subdivision, land use and development of land that is potentially, or known to be, contaminated land so as to protect human health.</p>	<p>Advice from Environment Southland on 2 August 2020 is that it has no record of HAIL activities and the site is not registered on its SLUS register (Appendix 4). <i>Environment Southland does not hold a record of hazardous activity on the subject property and the property is not currently registered on Environment Southland's Selected Land Use Sites (SLUS) register.</i></p>
<p>Natural Hazards The site is not identified in the District Plan Maps as being subject to any natural hazard.</p>	
<p>Heritage and Cultural Values The site is not identified in the District Plan Maps as having heritage or cultural values.</p>	
<p>Tangata whenua The site is not identified in the District Pan Maps as having values to tangata whenua.</p>	
<p>Ecosystems and Indigenous Biodiversity The site is not identified in the District Plan Maps as having any sites of significant indigenous biodiversity or habitats, nor significant natural character, wetlands or rivers.</p>	
<p>Natural Features and Landscapes The site is not within any of the 10 named outstanding natural features or landscapes.</p>	
<p>Coastal Environment</p>	
<p>Objectives</p>	<p>Assessment</p>
<p>CE-O1 The natural character of the coastal environment is preserved and protected from inappropriate subdivision, use, and development.</p> <p>CE-O2 Provision is made for those activities that have a functional need of locating within the coastal environment. Invercargill City District Plan Part Two Page 66 August 2019 Coastal Environment</p> <p>CE-O3 Provide for existing infrastructure and development within the coastal environment, including the Port of Bluff and Tiwai Smelter and recognise the functional need for some activities to locate within the coastal environment.</p> <p>CE-O4 Residential development within the coastal environment is provided for at Bluff and Ōmaui.</p> <p>CE-O5 Infrastructure, renewable energy projects and associated development are provided for in the coastal environment, recognising that such developments may have specific locational and technical constraints, while maintaining and enhancing public access and preserving natural character as far as practicable.</p> <p>CE-O6 Manage adverse effects of land use and</p>	<p>The proposal is not an inappropriate development when compared to permitted baseline activities identified in the 2017 consent decision. <i>The following would be permitted activities on this site (subject to environmental standards): five self-contained dwellings; homestay with up to five guests; a veterinary clinic; and animal boarding activity. Buildings in association with agriculture, up to 10 metres in height, are also permitted.</i></p> <p>A 3 x cabin development on an elevated site at a road end not overlooked by other Dwellings will not undermine the natural character of the coastal environment and is not an inappropriate use or development in the Zone.</p>

development on coastal water quality and ecosystems.	
Policies	
CE-P1 Identification: To identify the coastal environment, recognising that the landward extent of the coastal environment varies as a result of the dynamic coastal processes and values present.	Site is within Coastal Environment overlay.
CE-P2 Locations for Use and Development: To identify the Bluff township, and the hamlet of Ōmaui as the appropriate locations for subdivision, use and development in the coastal environment and, subject to providing for activities with a functional need to locate in the coastal environment, to give priority to preservation of the natural character of the coastal environment elsewhere.	<p>The site is not in Bluff or Ōmaui and the proposal is subject to a discretionary consent process. The District Plan provides for applications to be made outside the named locations and the assessment has to be on a fact and circumstance basis.</p> <p>The Site is near the inland margins of the Coastal Environment Overlay and does not exhibit strong coastal environment qualities or attributes.</p> <p>The Site is well suited to visitor accommodation uses being on the edge of a grouping of dwellings on Green Point Road. It provides a sense of isolation being at the road end on top of a terrace where the sense of ruralness and openness dominate the quality of environment. The Site is not overlooked by other urban areas or dwellings.</p> <p>This visitor accommodation proposal builds on an existing consent so is a marginal increase in scale and intensity of a consented use on a 10ha site. The scale and intensity of use helps preserve the natural character of the coastal environment.</p> <p>Overall the proposal for 3 x cabins on this Site is entirely consistent with Policy CE-P2.</p>
CE-P3 Public Access: To seek the maintenance and enhancement of public access within the coastal environment through regulatory and non-regulatory means where it: <ol style="list-style-type: none"> 1. Is practical to do so 2. Will not give rise to health and safety issues 3. Will not interfere with the reasonable use of the land by the occupier. 	<p>The site is freehold title but access to locations on adjoining land is possible and made available from the site or by use of the unformed legal road to the south of the Site.</p> <p>The proposal is consistent with the Policy.</p>
CE-P4 Effects of Subdivision, Use and Development: Ensure that subdivision, use and development activities within the coastal environment: <ol style="list-style-type: none"> 1. Avoid adverse effects on areas of outstanding natural features and landscapes and/or outstanding natural character and/or areas of significant indigenous 	<p>The site has no areas of outstanding natural features and landscapes and/or outstanding natural character and/or areas of significant indigenous biodiversity, nor does any immediately adjoining land, so no adverse effects</p>

<p>biodiversity.</p> <p>2. Avoid significant adverse effects and avoid remedy or mitigate other adverse effects on other natural features and landscapes and/or natural character, and indigenous biodiversity.</p> <p>3. Avoid, remedy or mitigate adverse effects on amenity, social, intrinsic, ecological, cultural and heritage values.</p>	<p>can arise.</p> <p>Any effects of the proposal will be minor or less than minor, and contained within the site and so no significant adverse effects need to be managed.</p> <p>There are no identified amenity, social, intrinsic, ecological, cultural and heritage values identified by the District Plan in or adjoining the Site that require to be managed.</p> <p>The proposal is entirely consistent with this Policy.</p>
CE-P5 National Grid:	NA
CE-P6 Functional, Technical or Operational Requirements:	NA
Rural Zone	
Objectives	
RURZ-O1 The rural environment is maintained and enhanced while allowing for productive rural activities to be undertaken. Invercargill City District Plan Part Two Page 125 August 2019 Rural Zone	<p>The site has little agricultural production potential and has never supported productive rural activities.</p> <p>The applicant intends to manage the weed and gorse problem and reinstate wetlands (Figure 6).</p>
RURZ-O2 Provide for the use and development of land within the rural area while maintaining, and where practical enhancing, amenity values.	<p>The nature of the visitor accommodation proposed (3 x cabins) is a low level impact activity.</p> <p>The nature and intensity of the proposal both in terms of the number of cabins if consented (four), the scale, design and colours of buildings, is better seen as “boutique” rather than a full motor camp facility.</p> <p>The site is not visible from most public viewing points being elevated on a significant terrace. In combination with the wetland development, replanting and management of weeds the overall proposal will improve existing amenity values.</p> <p>The proposal is entirely consistent with the Objectives.</p>
Policies	
RURZ-P1 Rural Zone: To require rural allotments to be of a size and nature that enables rural activities and maintains the rural character and visual amenity of the Rural Zone.	There is no subdivision proposed. The site exists in freehold in two lots.
RURZ-P2 Rural Activities: To provide for rural activities to establish and operate within the Rural Zone.	This is a 10ha site so even with the development proposed, most of the site will not have any development. This has the effect of reserving potential for any future rural activities to the extent the site will support such.

	The intent of the Policy is met.
RURZ-P3 Non-Rural Activities: To avoid activities that do not have a need to locate within the Rural Zone and which would result in adverse effects inconsistent with the function, character and amenity provided for by the Rural Zone.	<p>The Policy contains a two-legged test: Visitor accommodation of itself does not have a need to locate in the rural area, but at its scale and with the nature of development proposed, there will not be any adverse effects that are inconsistent with the function, character and amenity provided for by the Rural Zone especially when compared to what may establish as permitted activities in the Zone.</p> <p>In any event the Rural Zone has within it clusters of development and land uses that are existing and that on the face of it do not have a need for a rural location. However they are a fundamental part of the function, character and amenity of the Rural Zone as a whole and as it existed when the District Plan was prepared.</p> <p>A 3 x cabin development does not undermine this nor is it inconsistent with existing patterns and nature of development in the Zone.</p> <p>The proposal is entirely consistent with this Policy.</p>
RURZ-P13 Ambient Noise: To maintain ambient noise levels to protect health and amenity of Noise Sensitive Activities, whilst allowing agricultural activities, and to recognise that some parts of the zone are subject to higher levels of noise generated by farm activities.	The policy is directed at agricultural activities so is not applicable. But in any event, the nature and scale of the proposal and its form will not give rise to any noise impacts.
RURZ-P16 Glare: To ensure freedom of nuisance from glare.	<p>No issues of glare will arise. All adjoining sites are below the site of the proposal.</p> <p>Recessive colours will be used on the three cabins.</p>
RURZ-P18 Lightspill: To avoid, remedy or mitigate the adverse effects of lightspill.	Any security and directional lighting will comply with District Plan standards.
RURZ-P20 Signage: To protect the amenity of the Rural Zone by controlling the size and nature of signage and require that any signage should relate to the activity being carried out on the site.	<p>RMA/2017/37 includes provision for a complying sign.</p> <p>The applicant does not propose any additional signs relying on social media channels and the web to advertise the site and its facilities.</p>
RURZ-P24 Hazardous Substances: To provide for the opportunity to store and use moderate amounts of hazardous substances.	No hazardous substances are involved in the proposal.
RURZ-P25 Height and Location of Structures: To manage the scale of development in rural areas is an important dimension of amenity, recognising that the height and	All structures and buildings will be single storey (maximum height about 3.4m), and set back between 21m – 32m from

location of structures are main components of that.	site boundaries. None of the visitor accommodation is visible from the State Highway and Green Point Road until adjacent to the site.
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Appendix 7: Rules assessment

Rural Zone Rules

Definition	Provision	Assessment
Residence	Means building(s) or part thereof and any accessory buildings associated with the use for the domestic purposes of a residential unit.	A residential unit is not defined in the District Plan but residential activity is defined specifically to include <i>the use of land and buildings by an individual, a family unit or a group of unrelated individuals living together in a single household which is self-contained in respect of sleeping, cooking, dining, bathing and toilet facilities...</i> (emphasis added) None of the activities fall within this definition.
Visitor Accommodation	Means the use of land or buildings for the provision of accommodation by fee paying customers for a daily tariff. This includes hotels, motels, hostels, backpackers, and camping grounds, but does not include home stay	The proposal is for an additional 3 self-contained 57m ² cabins (Appendix 2) .
Rule	Provision	Assessment
TRA-R1 Off-Street Car Parking Requirements:		
Visitor accommodation	One staff car park per two staff or part thereof on the site at any time, plus: Unit type construction (e.g. motels, cabins): One car park per unit.	Complies: Provision will be made for six car parks for the three new cabins. Car parking exists as part of the original consent for the dwelling.
TRA-R2 Car Parking Design	All car parking spaces are to be designed to comply with the car parking standards set out in APP11 – Appendix 11 Transport Standards.	Complies: There is a lot of space on site so the carparks will comply but will not be marked out as the intention is to leave the site with minimal sealed/concrete areas.
CE-R1 Coastal Environment	Where the need for resource consent is triggered by another provision in this Plan, and the development is within the Coastal Environment as	See assessment below.

	delineated on the District Planning Maps, then it is necessary to address issues that pertain to the coastal environment in the Assessment of Environmental Effects.	
Lightspill LIGHT-R1	All activities are to be designed, constructed and operated to comply with the following maximum levels of lightspill: 1. Lightspill is to be measured and assessed in accordance with the Australian Standard AS 4282 1997: Control of the Obtrusive Effects of Outdoor Lighting.	See below LIGHT-R2.
LIGHT-R2	The generation of lightspill, measured at the boundary of the site, shall not exceed the following: Rural 5 lux	Complies: Lights will be predominantly hooded down light type, lux and colour to be as per dark sky protocols (ex Stewart Island) Any security and safety lighting will be designed and located to comply with Australian Standard AS 4282 1997 noting the site is not visible from adjoining dwellings.
NOISE-R2 Noise levels from activities	All activities are to be designed and operated so that the following noise limits are not exceeded: Day time 0700 - 2200 LAeq 65dB LAmx 85dB Night time 2200 – 0700 LAeq 45dB LAmx 70dB	Complies: The proposed operation of visitor accommodation will be designed and managed to comply with these noise standards. The applicant/owner lives on-site.
SIGN-R1 Signage Rural zone	It is a permitted activity to erect signage that complies with the following maximum levels: a. Signage painted on, or attached parallel to, buildings: <ul style="list-style-type: none"> • Maximum area: 1.5m²; OR b. Free standing signage: <ul style="list-style-type: none"> • Maximum area: 1.5m² • ii Maximum height: No higher than 2 metres; OR c. Signage attached at an angle to the building: <ul style="list-style-type: none"> • i. Maximum area: 1.5m². 	Complies: RMA/2017/37 consented one sign. The applicant does not propose any additional signs relying on social media channels and the web to advertise the site and its facilities.

SOIL-R2	All other earthworks provided that the quantity of earthworks undertaken in a 12 month period shall not exceed: b. 2,000m ³ per site in the Rural Zone	Complies. Any earthworks will not exceed the permitted standards. There is minimal earthworks required to establish the 3 x cabins (3 x 57m ² = 171m ² building footprint).
RURZ-R2 Discretionary activity		
RURZ-R5	A yard at least 4 metres deep shall be provided along all side and rear boundaries of any non-residential activity.	Complies. Appendix 2 of the overall development concept shows the three cabins will sit well clear of any site boundaries. Side yards are shown as between 21m – 32m. In any event there are no adjoining non-residential activities.
RURZ-R6	A yard at least 20 metres deep is required between plantation forestry activities and any site boundary.	N/A. The proposal does not involve plantation forestry and there is no adjoining plantation forestry.
RURZ-R12	All new buildings and structures, and additions to existing buildings and structures, are to be designed and constructed to comply with the following maximum height and recession planes: 1. Maximum height: 10 metres 2. Recession plane: Infogram 2 applies on sites less than one hectare and/or along boundaries adjoining a Residential Zone.	Complies; All buildings are single storey (max height 3.4m) and are well clear of the site boundaries so there is no breach of recession planes (Appendix 2).
RURZ-R14	RURZ-R15 to RURZ-R20 apply to properties that: 1. Are not connected to the Council's reticulated water supply; or 2. Are connected to the Council's reticulated Restricted Flow Supply	The site is not connected to either the Council's reticulated water supply, nor is it connected to the Council's reticulated Restricted Flow Supply.
RURZ-R15	Each new residential unit with a building floor area of less than 200m ² shall have either: 1. A sprinkler system installed (to an approved standard in accordance with SNZ PAS 4509:2008 New Zealand Fire Service Firefighting Water Supplies Code of Practice) in the building, plumbed to ensure	Complies. None of the buildings proposed for the visitor accommodation activity fall within the definition of residential activity (see above) as none will be "self-contained" in the terms of the District Plan definition. There are firefighting water supplies on-site for the dwelling and the applicant will add further

	<p>7,000 litres of water is always available to the sprinkler system in the event of a fire; or</p> <p>2. A water tank with a storage capacity of 30,000 litres maintained to hold a minimum of 20,000 litres of water at all times as a static fire fighting reserve.</p>	<p>capacity to cater for the cabins. FENZ has inspected the Site and approved the proposal set out in Appendix 2 as meeting Appendix B of SNZ PAS 4509:2008 New Zealand Fire Service Firefighting Water Supplies Code of Practice (Appendix 8).</p>
RURZ-R17	<p>A fire fighting connection, in accordance with Appendix B of SNZ PAS 4509:2008 New Zealand Fire Service Firefighting Water Supplies Code of Practice</p>	<p>Complies. FENZ approval obtained.</p>
RURZ-R19	<p>Where an activity does not comply with the relevant standards set out in RURZ-R15 to RURZ-R18 above, the activity is a restricted discretionary activity. The matter over which the Council shall exercise its discretion is:</p> <p>1. The extent of compliance with the SNZ PAS 4509:2008 New Zealand Fire Service Firefighting Water Supplies Code of Practice) and the health and safety of the community, including neighbouring properties.</p>	<p>Complies. FENZ approval obtained.</p>

Appendix 8: FENZ Approval

RE: future development for 58 Green point road

16 February 2021

Milne-Maresca, Murray <Murray.Milne-Maresca@fireandemergency.nz> 10:25 AM (26 minutes ago)

Hi Andy

I went to the site and liaised with Alan yesterday afternoon, I am now satisfied with the position and number of tanks for the proposed project to date. The only issue was that the coupling is to be facing the driveway so fire appliances can draw the water without any restrictions.

Regards

Murray





carparks
 FENZ hard stand x1
 Units 1 per unit total 8

Sheet #
1

Drawn By:

 aj design
 plan design and project consultancy

Date:
 3/02/2021

Scale:
 NTS

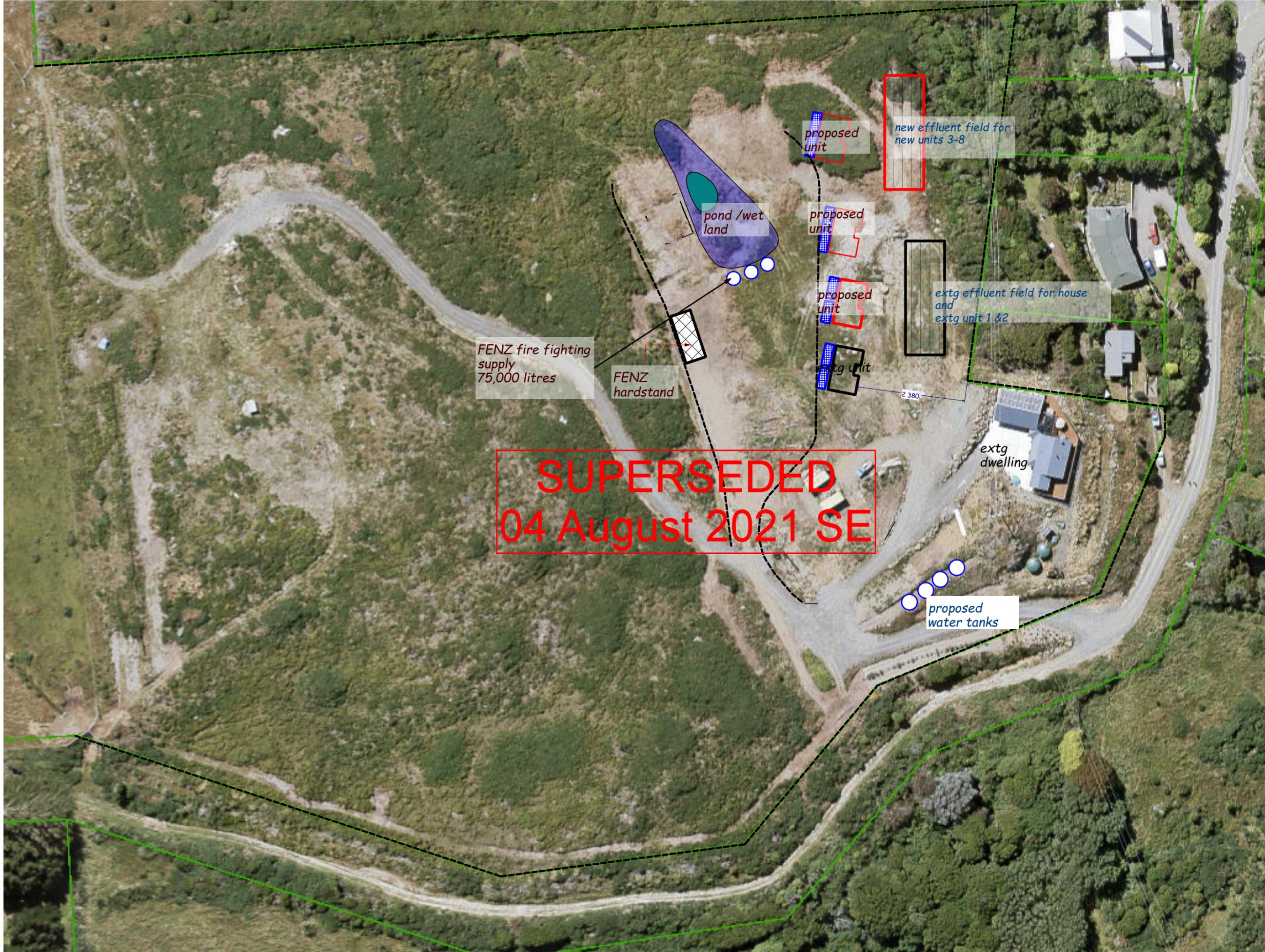


project: Green Point Holiday Park
 58 Green point Road
 Bluff

 = nominal carpark space
 3000mmx 5200mm
 FENZ hard stand 11000x4500

part site plan

Rev.



Sheet #
2

Drawn By:

aj design
plan design and project consultancy

Date:
3/02/2021

Scale:
1000



project: Green Point Holiday Park
58 Green point Road
Bluff

site plan

Rev.



Sheet #
1

Drawn By:

aj design
plan design and project consultancy

Date:
22/07/2021

Scale:
NTS



project: Green Point Holiday Park
58 Green point Road
Bluff

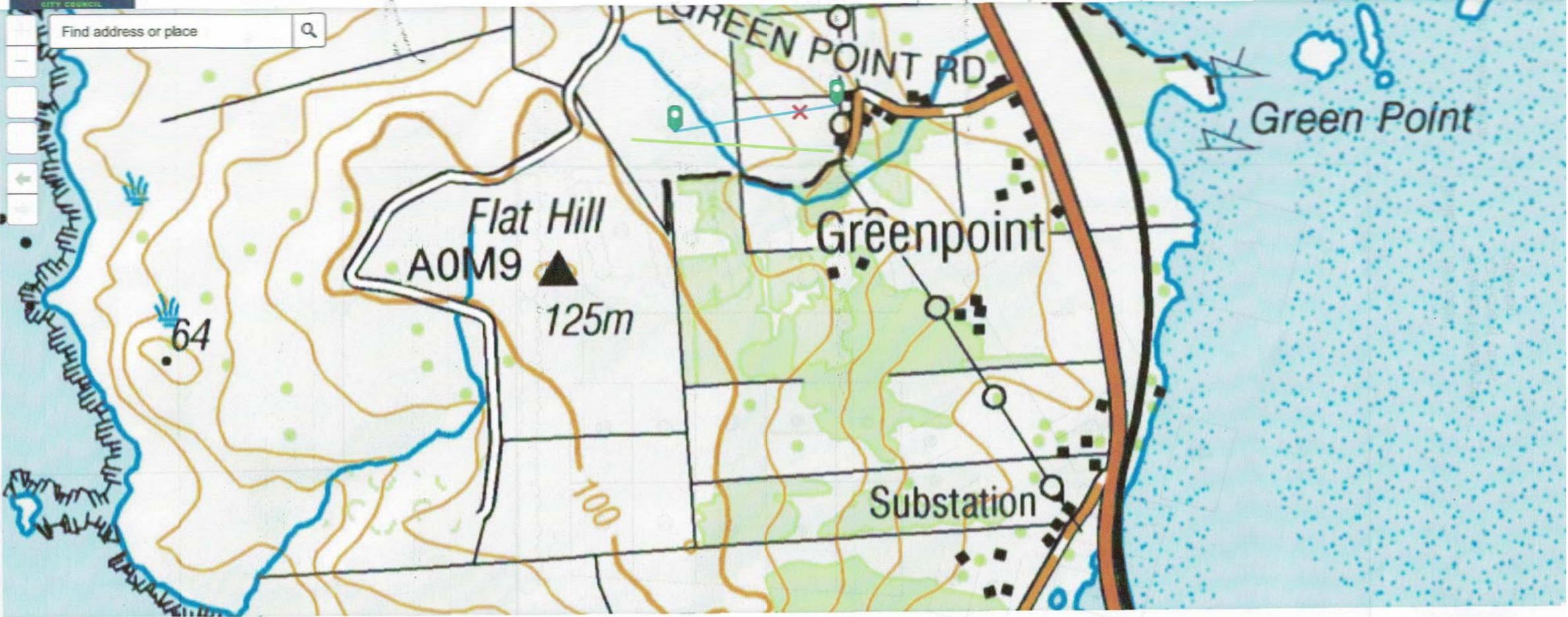
part site plan
Rev.

carparks
FENZ hard stand x1
Units 1 per unit total 5


= nominal carpark space
3000mmx 5200mm
FENZ hard stand 11000x4500

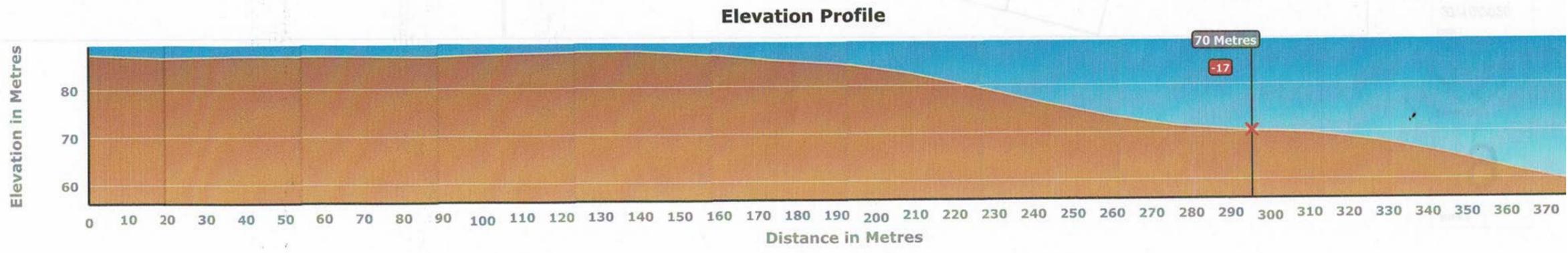


Topographic Map of NZ



Elevation Profile Measure Profile Result

Hover over or touch the Elevations Profile chart to display elevations and show location on map.



Sheet #
3

Drawn By:

aj design
plan design and project consultancy

Date:
3/02/2021

Scale:

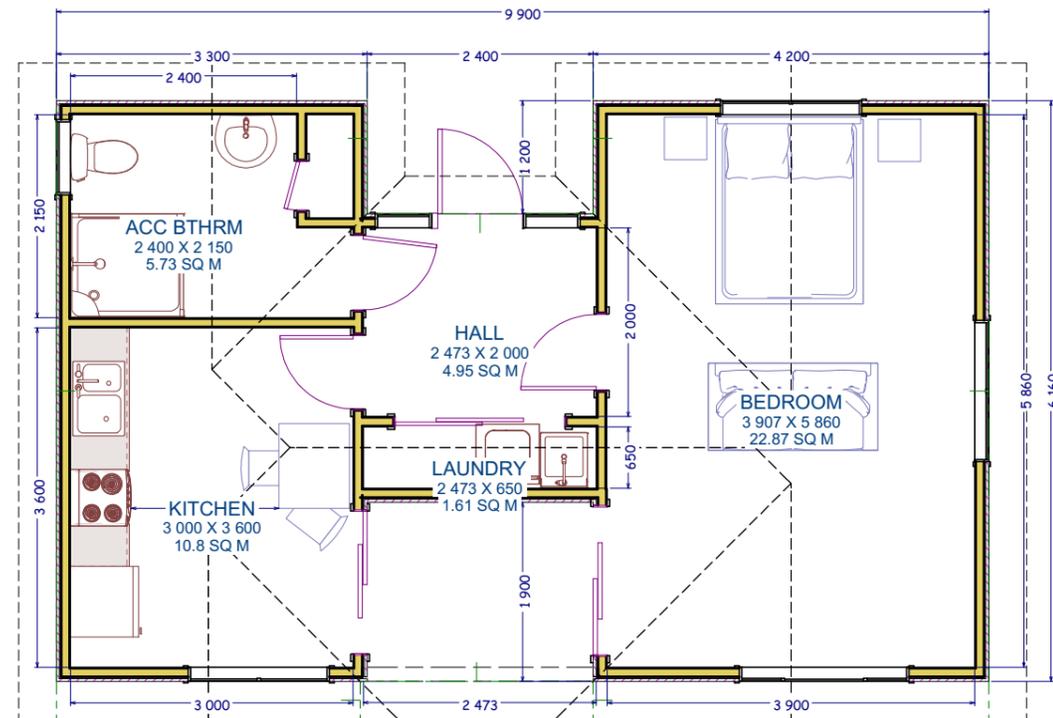


project: Green Point Holiday Park
58 Green point Road
Bluff

elevation cross section
Rev.



three new units placed on the edge of the natural terrace ,
 minimal excavation required as the building platforms will be raised
 rather than set in to the slope



Sheet #

4

Drawn By:



Date:

3/02/2021

Scale:

75



project: Green Point Holiday Park
 58 Green point Road
 Bluff

Rev. floor plan self contained
 units 3-8

Sheet #

5

Drawn By:



Date:

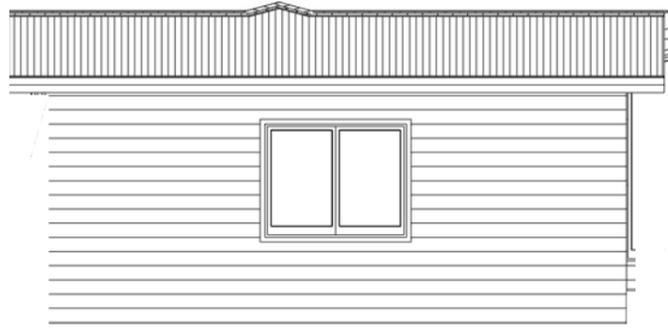
3/02/2021

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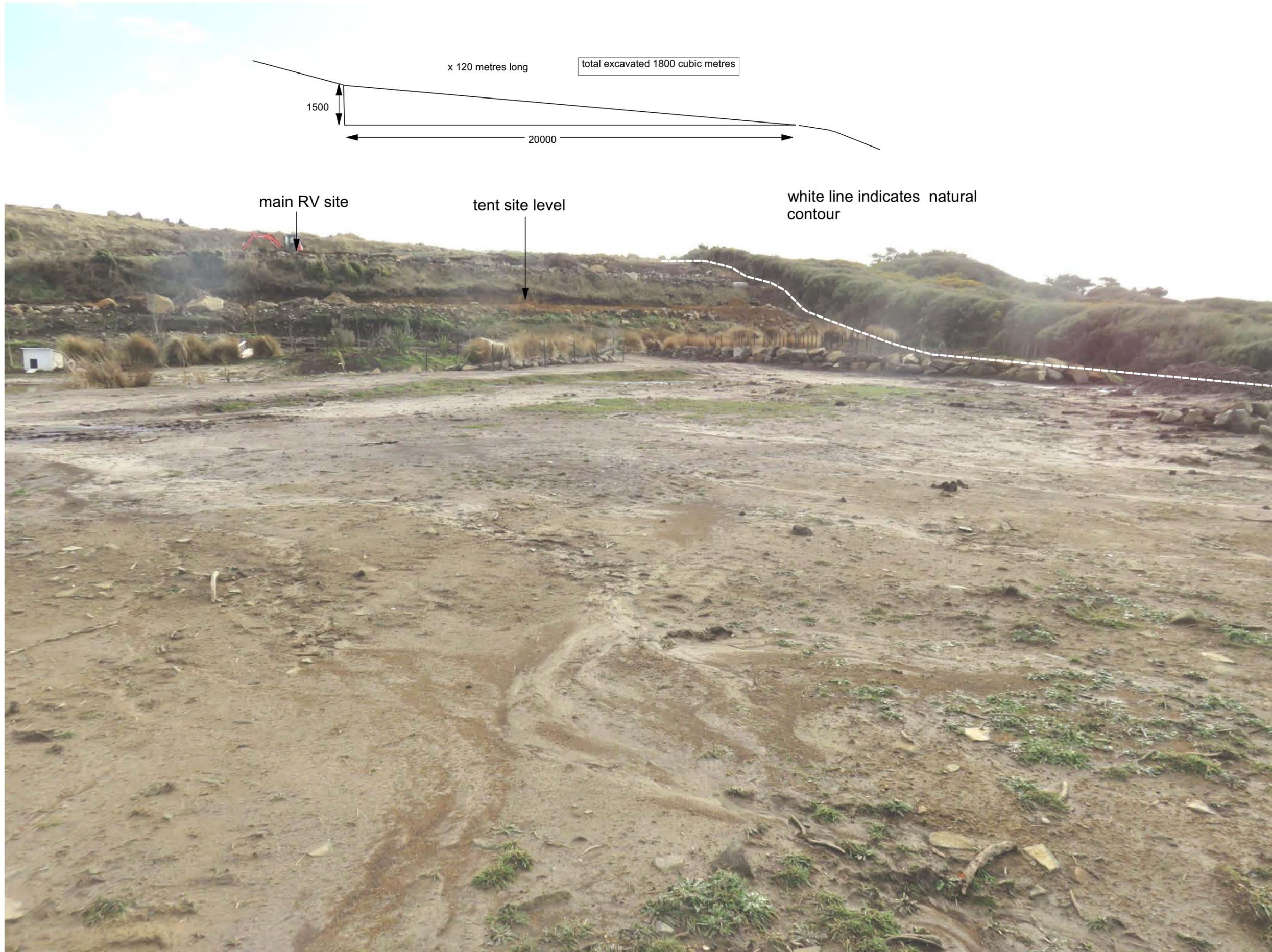


project: Green Point Holiday Park
58 Green point Road
Bluff

Rev.



elevations



Sheet #

6

Drawn By:



Date:

3/02/2021

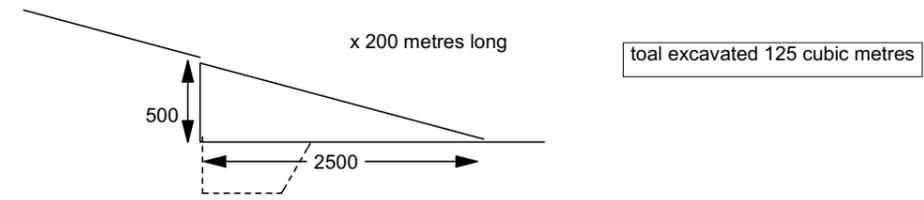
Scale:



project: Green Point Holiday Park
58 Green point Road
Bluff

site below
wet land

Rev.



Sheet #
7

Drawn By:

aj design
plan design and project consultancy

Date:
3/02/2021

Scale:



project: Green Point Holiday Park
58 Green point Road
Bluff

Rev.
benched area to
fire fighting tanks

Affected Person's Written Approval



SECTION 95E(3) RESOURCE MANAGEMENT ACT 1991

Please read the information on the back of this page before signing

I (full name):

being the Owner and Occupier Owner Occupier

of the property situated at (address of your property):

Green Point Road, Bluff

I have the authority to sign on behalf of all other owners occupiers of the property.

This is written approval for (describe proposed activity):

The development of 3 x single bedroom, single storey 57m2 cabins as visitor accommodation as a discretionary activity under the Invercargill City District Plan.

Which will be carried out at:

58 Green Point Road, Bluff

- I understand the proposal and have seen and signed a copy of the plans and/or the supporting information.
- I understand that if I give my approval, the Council cannot take into account any effect that the activity may have on me, when it considers the application.
- I understand that at any time before the application is finalised, I may give notice in writing to the Council that this approval is withdrawn, under S104(4) of the Resource Management Act 1991.
- If the consent authority determines that the activity is a deemed permitted boundary activity under section 87BA of the Act, your written approval cannot be withdrawn if this process is followed instead.

Signed: _____

Date: 03/03/2021

Signature of person giving written approval (or person authorized to sign on behalf of person giving written approval.
(A signature is not required if you give your written approval by electronic means but the plans must be signed).

Email Address: stwmac39@gmail.com

Contact Phone Number: 02102439015

Postal Address: 50 Green Point Rd, Greenpoint, Invercargill 9877

Note: If signing on behalf of a trust or company please provide additional written evidence that you have signing authority.

